

**CONWAY-HALL
RESIDENCE**
18 MORRIS AVENUE
COLD SPRING, NY 10516
TAX MAP 48.8-4-20

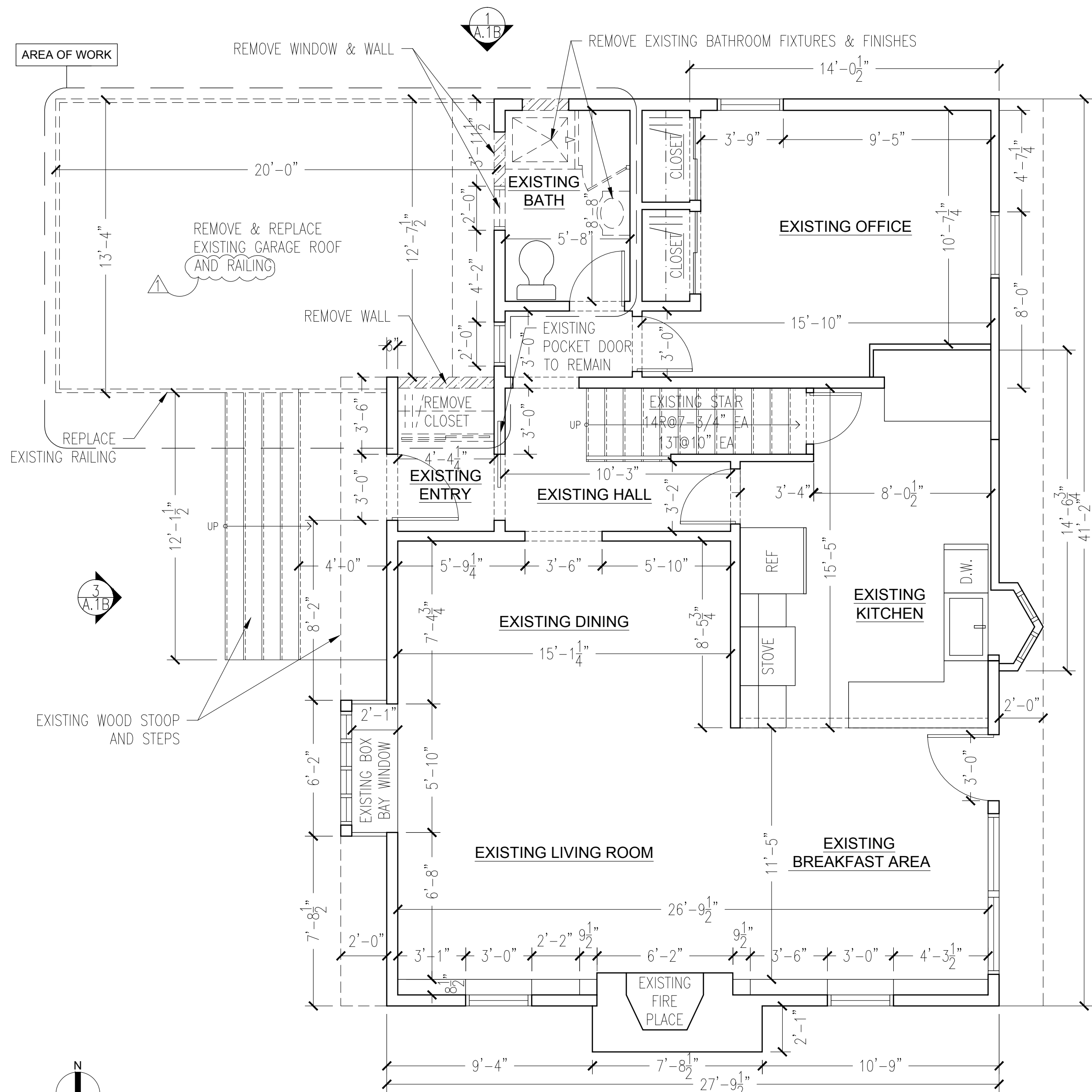
LIST OF DRAWINGS	
A.1	LOCATION PLAN, LIST OF DRAWINGS, BUILDING DEPARTMENT NOTES, FIRST FLOOR DEMOLITION PLAN
A.1B	EXISTING/DEMOLITION ELEVATIONS
A.2	PROPOSED CONSTRUCTION PLANS: FIRST FLOOR PLAN, ROOF PLAN, ELECTRICAL AND LIGHTING PLAN
A.3	PROPOSED ELEVATION, WINDOW SCHEDULE, LIGHTING FIXTURE SCHEDULE, INTERIOR AND EXTERIOR DOOR AND HARDWARE SCHEDULES, PLUMBING FIXTURE SCHEDULE, EXTERIOR AND INTERIOR FINISHES AND TRIM SPECIFICATIONS

LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR, FIXTURE ETC. TO BE REMOVED OR REPLACED

REVISION:

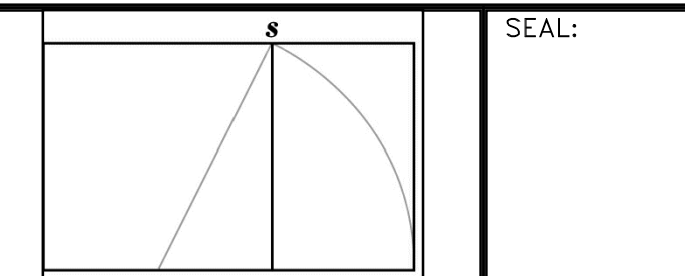
5-14-18	DESIGN DEVELOPMENT
2-28-24	FOR BID AND APPROVALS NEW MUDROOM AND GARAGE RENOVATION
4-25-24	ZBA RESUBMITTAL

GENERAL NOTES	
SUMMARY OF WORK	
1	THESE DRAWINGS ARE FOR FILING WITH THE VILLAGE OF COLD SPRING DEPARTMENT OF BUILDINGS AND FOR BIDDING.
COORDINATION	
1	THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL MEANS METHODS AND PROCUREMENT OF CONSTRUCTION. THE ARCHITECT SHALL ONLY MAKE OBSERVATIONS AND CHECK SHOP DRAWINGS FOR CONFORMANCE TO DESIGN INTENT.
2	THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE SITE, VERIFY ALL DIMENSIONS AND CONDITIONS AND MAKE NOTE OF ANY DISCREPANCIES, BECOME FAMILIAR WITH THE NATURE AND SCOPE OF WORK PRIOR TO PROCEEDING WITH CONSTRUCTION WORK AND NOTIFY THE ARCHITECT AND OWNER OF ANY PROBLEMS PRIOR TO CONSTRUCTION.
3	THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AFTER DEMOLITION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE CONTRACT DOCUMENTS. IF CONCEALED CONDITIONS ARE ENCOUNTERED AT THE SITE WHICH DIFFER MATERIALLY OR DIMENSIONALLY FROM THOSE INDICATED ON THE CONTRACT DOCUMENTS, NOTICE BY THE CONTRACTOR SHALL BE GIVEN TO THE ARCHITECT. THE CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT AND INSTRUCTION SHALL BE OBTAINED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS TO THE CONTRACT DOCUMENTS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION/FABRICATION OF THE WORK.
4	CONTRACTOR SHALL PROVIDE SUBMITTALS FOR REVIEW BY ARCHITECT AND/OR ENGINEERS, FOR ALL INSTALLED ITEMS. THE SUBMITTALS SHALL BE IN THE FORM OF: SHOP DRAWINGS FOR SYSTEMS AND ASSEMBLIES, MANUFACTURER'S CATALOG CUTS FOR MANUFACTURED ITEMS SUCH AS LIGHTING, WINDOWS, HARDWARE, SAMPLES OF ALL FINISH MATERIALS SUCH AS FLOORING, ROOFING, SIDING, STONE, ETC.
5	THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND PROVIDING ALL NEW MATERIALS, LABOR, EQUIPMENT AND SERVICES NECESSARY TO SATISFACTORILY COMPLETE THE WORK AS INDICATED.
6	THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL OTHER COSTS NOT SPECIFICALLY MENTIONED BY WHICH WOULD NORMALLY BE INCURRED DURING THE COURSE OF CONSTRUCTION WHICH ARE REASONABLY INFERRED AND WOULD BE NECESSARY TO COMPLETE THE ARCHITECT'S DRAWINGS.
7	THE CONTRACTOR SHALL INCLUDE IN THEIR BID, THE REMOVAL OF DEBRIS AND CLEANING AFTER ALL TRADES. THE JOB SITE SHALL BE BROOM CLEAN AT THE END OF EACH WORKING DAY.
8	UPON THE AWARD OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT A DETAILED WORK SCHEDULE BY EACH TRADE.
9	THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND UP-TO-DATE SET OF CONTRACT DOCUMENTS ON THE SITE AT ALL TIMES.
REGULATORY REQUIREMENTS	
1	ALL WORK SHALL BE EXECUTED TO CONFORM WITH THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AMERICAN INSTITUTE OF ARCHITECTS, DOCUMENT NO. A-201, LATEST EDITION WHICH IS HEREBY MADE A PART OF THIS SPECIFICATION AND THE CONTRACT DOCUMENTS TO THE SAME EXTENT AS IF HEREIN WRITTEN OUT IN FULL. COPIES ARE ON FILE FOR EXAMINATION AT THE OFFICE OF THE ARCHITECT OR ARE AVAILABLE UPON REQUEST FROM THE AIA.
2	ALL WORK SHALL BE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL GOVERNMENTAL REGULATIONS, INCLUDING, BUT NOT LIMITED TO: THE CODE OF THE VILLAGE OF COLD SPRING, VILLAGE OF COLD SPRING ZONING REGULATIONS, AND HISTORIC DISTRICT REVIEW BOARD GUIDELINES, 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE, 2015 RESIDENTIAL CODE OF NEW YORK STATE AND ENERGY CONSTRUCTION CODE OF NEW YORK STATE. THE CONTRACTOR SHALL BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
3	THIS WORK SHALL REQUIRE FILING WITH VILLAGE OF COLD SPRING DEPARTMENT OF BUILDINGS. CONTRACTOR SHALL PROVIDE PLUMBING AND ELECTRICAL SIGN-OFFS TO ARCHITECT.
4	PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMMENCE WORK.
5	THE CONTRACTOR MUST ONLY USE LICENSED SUBCONTRACTORS WHERE WORK IS MANDATED TO BE DONE BY LICENSED TRADES.
6	ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS AND ALL REQUIRED PERMITS AND CERTIFICATIONS MUST BE OBTAINED.
7	THE CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF RESULTING FROM THE PERFORMANCE OF THE WORK DONE BY THE CONTRACTOR.
8	SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED AS PER CODE.
9	CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY EXISTING ASBESTOS ROOFING AND SIDING AS PER FEDERAL AND STATE REGULATIONS.
10	CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: GROUND SNOW LOAD: 30 P _g , WIND SPEED MPH: 90V3s, SEISMIC DESIGN CATEGORY: C, SUBJECT TO DAMAGE FROM WEATHERING: SEVERE, FROST LINE DEPTH: 42", TERMITE: MODERATE TO HEAVY, ICE BARRIER UNDERLAYMENT REQUIRED, FLOOD HAZARDS: NFIP 2013.
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12	SEALING OF ALL NEW DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS: DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER OF THE FOLLOWING: 1. POST CONSTRUCTION TEST LEAKAGE TO THE OUTDOORS SHALL BE LESS THAN 8CFM PER 100 SF CONDITIONED FLOOR AREA. TOTAL DUCT LEAKAGE SHALL BE LESS THAN 12 CFM, OR 2. ROUGH-IN TEST TOTAL DUCT LEAKAGE SHALL BE LESS THAN 6 CFM WITH THE AIR HANDLER INSTALLED. DUCT LEAKAGE TEST SHALL BE CONDUCTED BY A QUALIFIED PERSON.
13	LEAD PAINT: THE CONTRACTOR SHALL FOLLOW LEAD SAFE RENOVATION, REPAIR AND PAINTING GUIDELINES AS SET BY THE EPA, NEW YORK STATE AND PUTNAM COUNTY. THE CONTRACTOR SHALL USE AN EPA LEAD-CERTIFIED CONTRACTOR FOR LEAD SAFE PRACTICES IN RENOVATION, REPAIR AND PAINTING.
QUALITY CONTROL	
1	ALL WORK SHALL MEET OR EXCEED MATERIAL AND PERFORMANCE STANDARDS AS PROMULGATED BY NFPA, ASTM, ANSI OR FEDERAL SPECIFICATION OR OTHER PERTINENT TRADE AND TESTING ORGANIZATIONS, AS APPLICABLE.
2	THE CONTRACTOR SHALL GUARANTEE ALL WORK DONE UNDER THEIR SUPERVISION AND CONTROL FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. ANY REPAIRS AND/OR REPLACEMENTS REQUIRED DURING THE GUARANTEE PERIOD, CAUSED BY FAULTY WORKMANSHIP OR DEFECTIVE MATERIAL AND DEVICES, SHALL BE DONE/ SUPPLIED AT NO ADDITIONAL COST TO THE OWNER.
3	ALL INSTALLATIONS SHALL BE IN FULL AND STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
4	ALL PRICES SHALL INCLUDE COME BACK TIME TO MEET THE REQUIREMENTS OF THE PUNCH LIST.
5	THE CONTRACTOR SHALL MAINTAIN THEIR PREMISES CLEAN AND FREE OF DEBRIS. ALL EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

**NOT FOR
CONSTRUCTION**



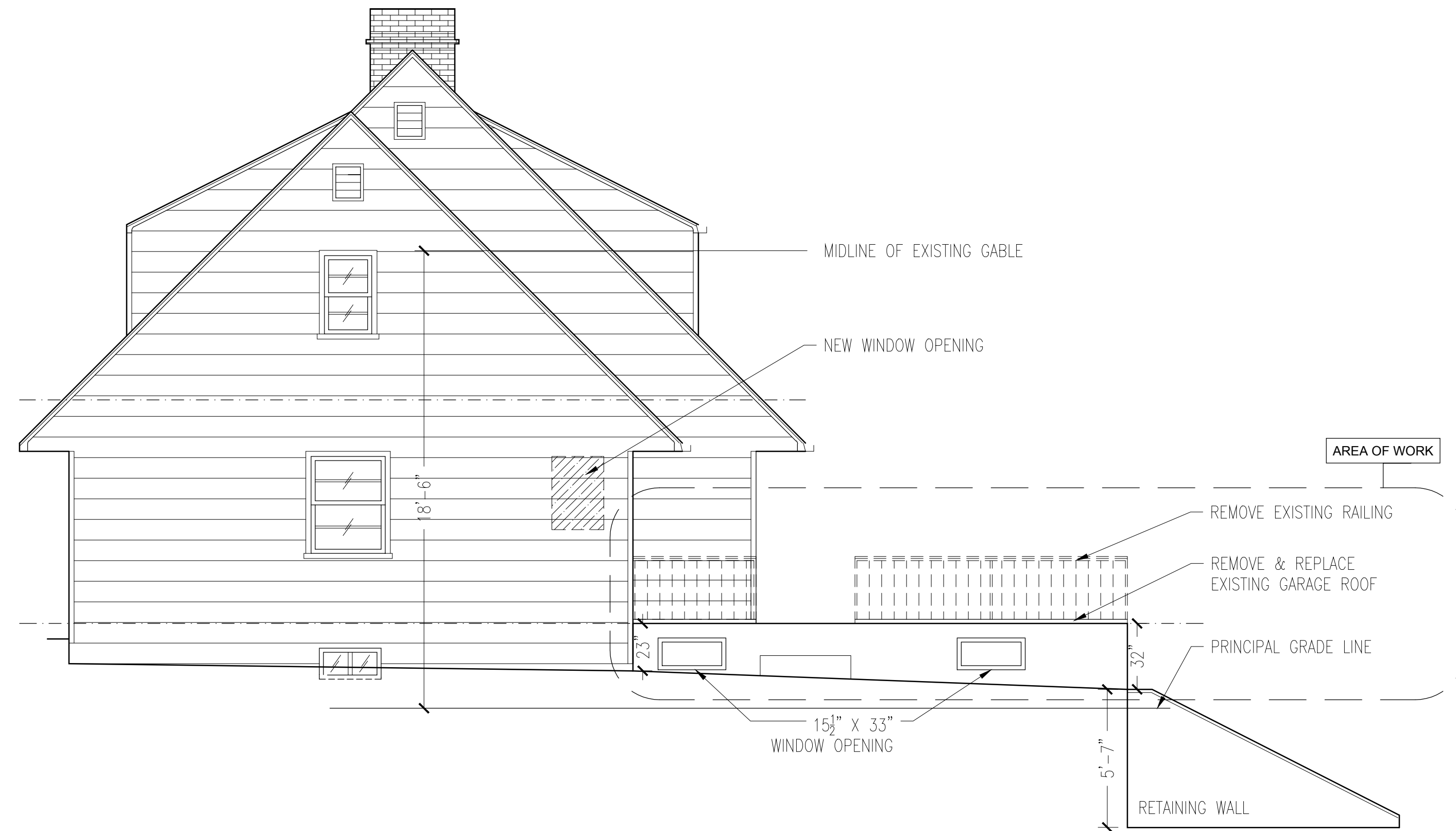
**MADELINE SANCHEZ AIA
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TITLE:	FIRST FLOOR DEMOLITION PLAN
DRAWN BY:	FS
DATE:	08 JAN 2024
SCALE:	AS NOTED
SHEET:	A.1

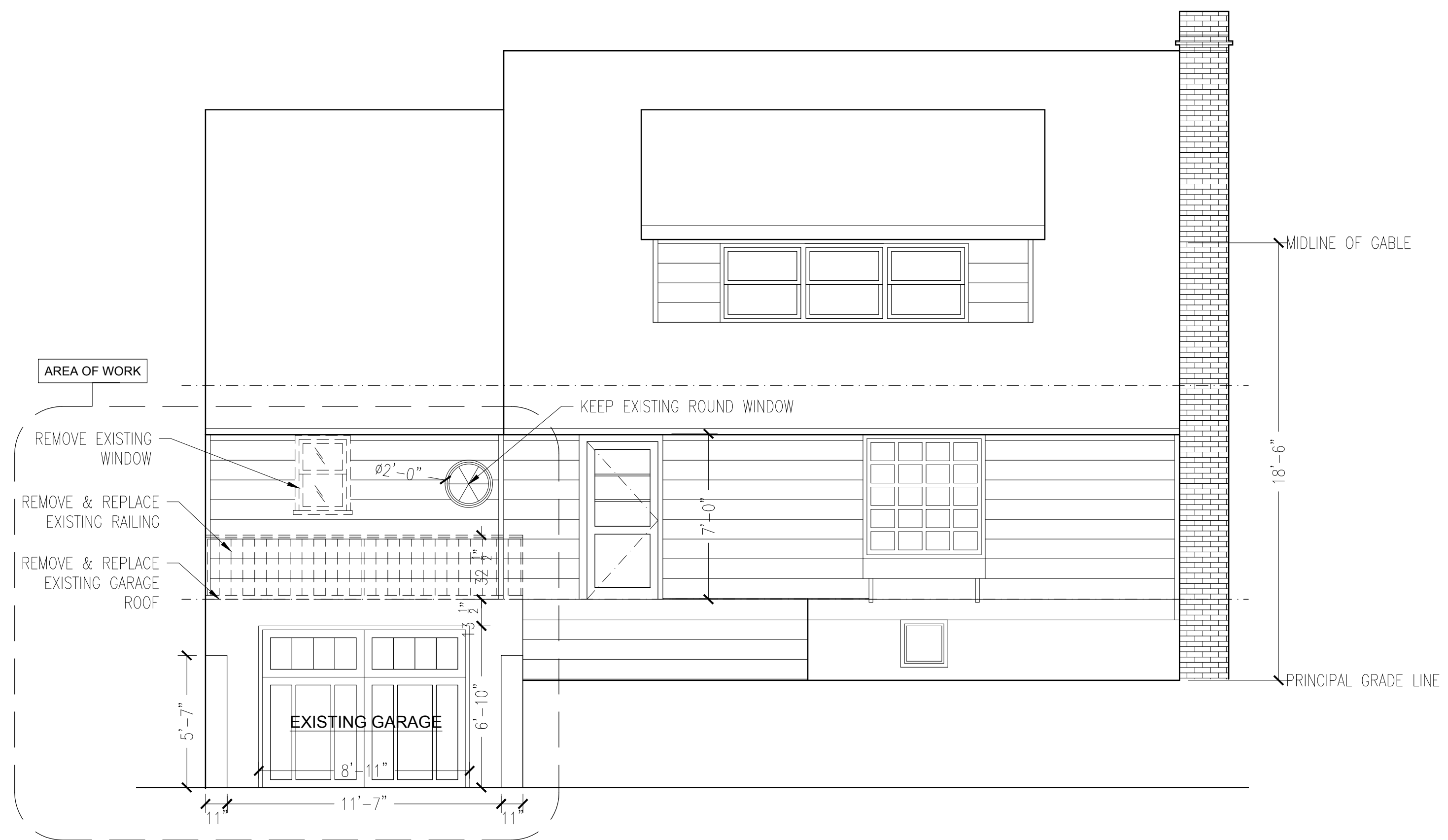
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2-28-24	FOR BID AND APPROVALS NEW MUDROOM AND GARAGE RENOVATION
△ 4-25-24	ZBA RESUBMITTAL

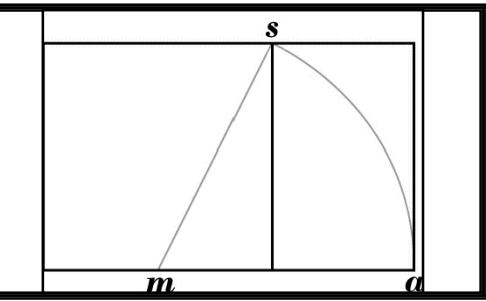


1 NORTH EXISTING/DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST EXISTING/DEMOLITION ELEVATION
SCALE: 1/4" = 1'-0"

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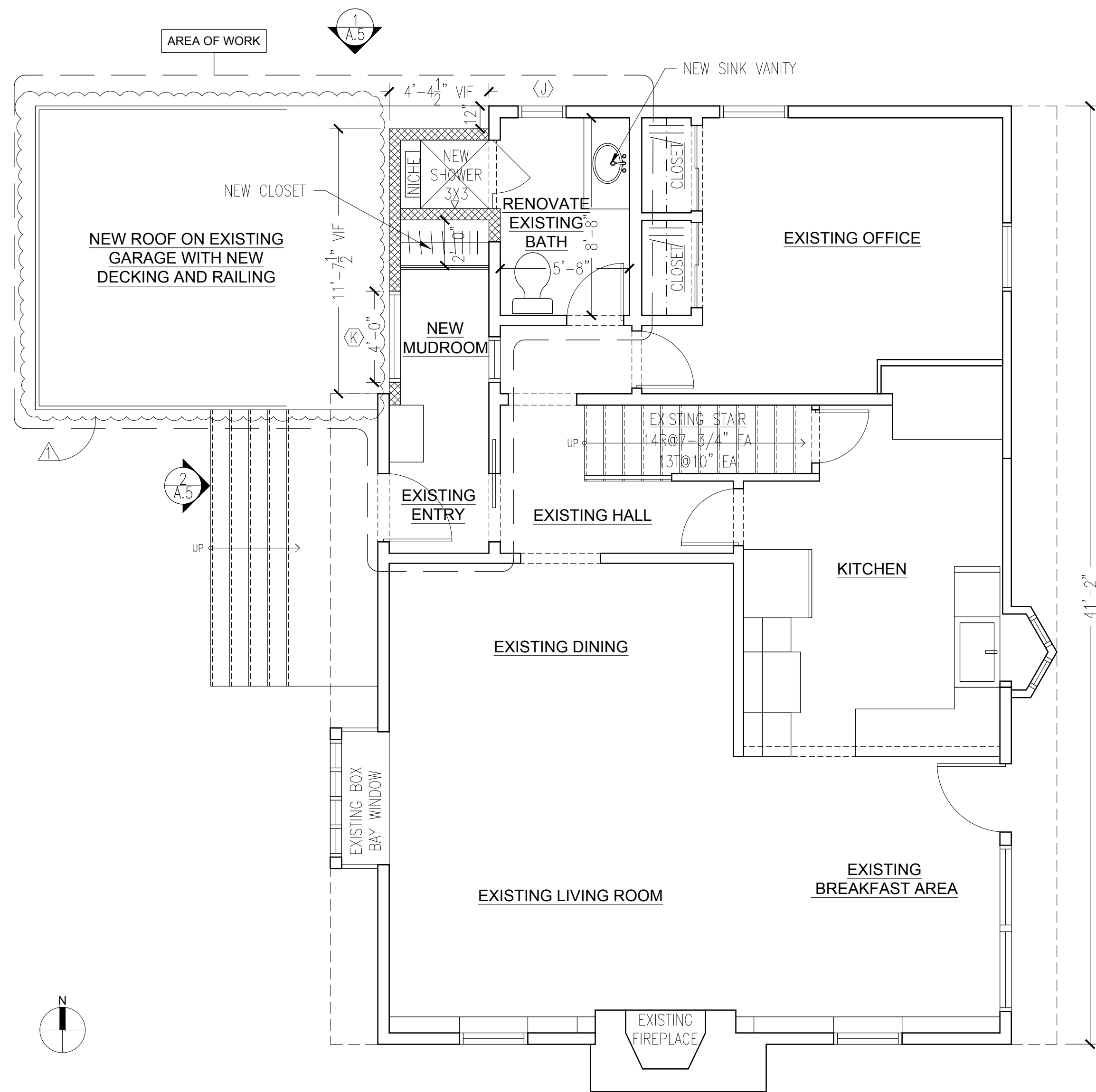
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DRAWN BY: FS	SHEET: A.1B
DATE: 08 JAN 2024	
SCALE: AS NOTED	

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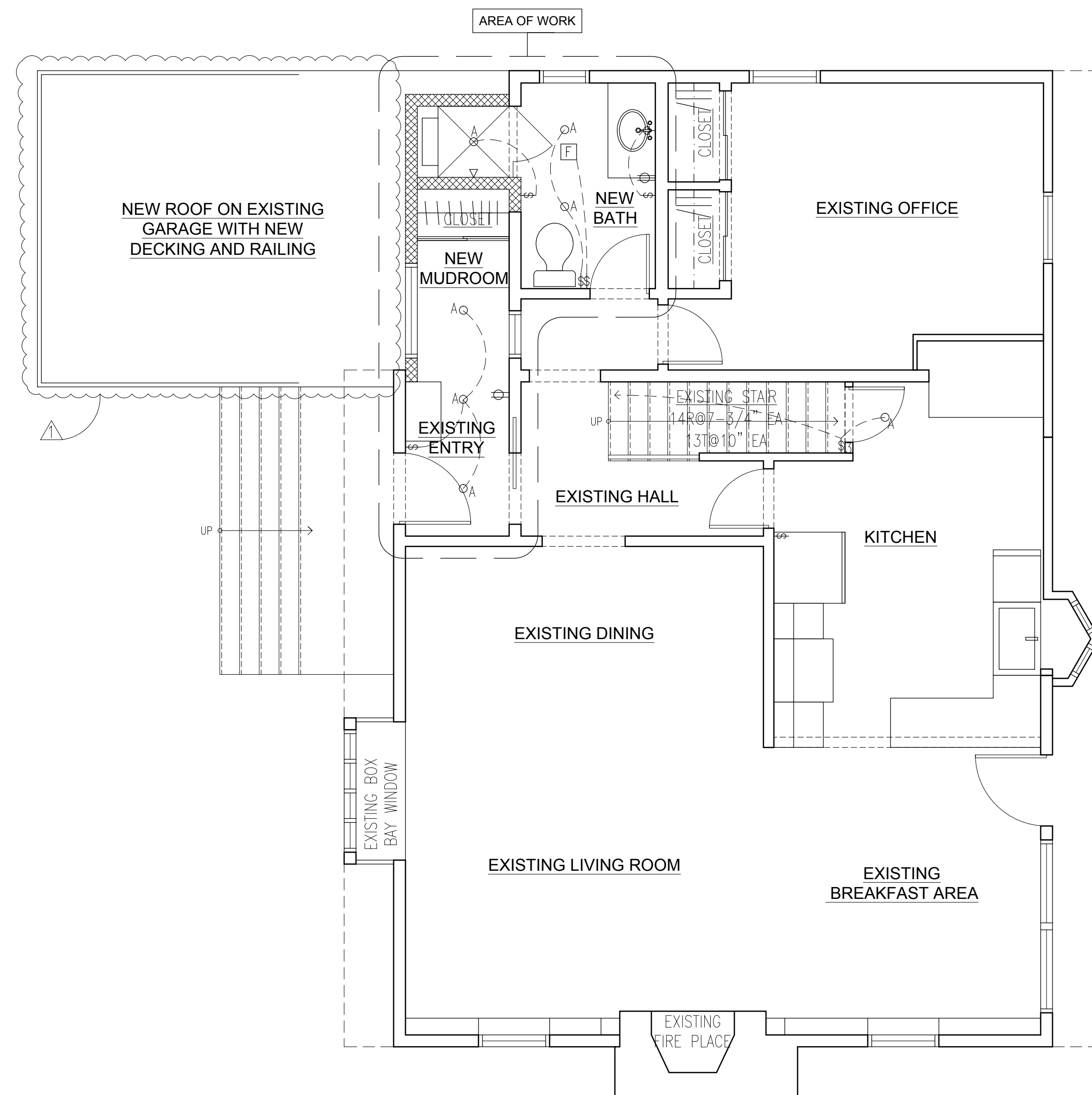
LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	NEW WALL

ELECTRICAL LEGEND	
E	EXISTING TO REMAIN
-	EXISTING TO BE REMOVED
N	NEW
	DUPLEX OUTLET
	QUAD OUTLET
	GFI OUTLET
	SWITCHED OUTLET
	LIGHT SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	RECESSED DOWNLIGHT
	WALL SCONCE
	CEILING FAN
	HARDWIRED SMOKE DETECTOR
	HARDWIRED COMBO SMOKE-CO2 DETECTOR
	CABLE TV OUTLET

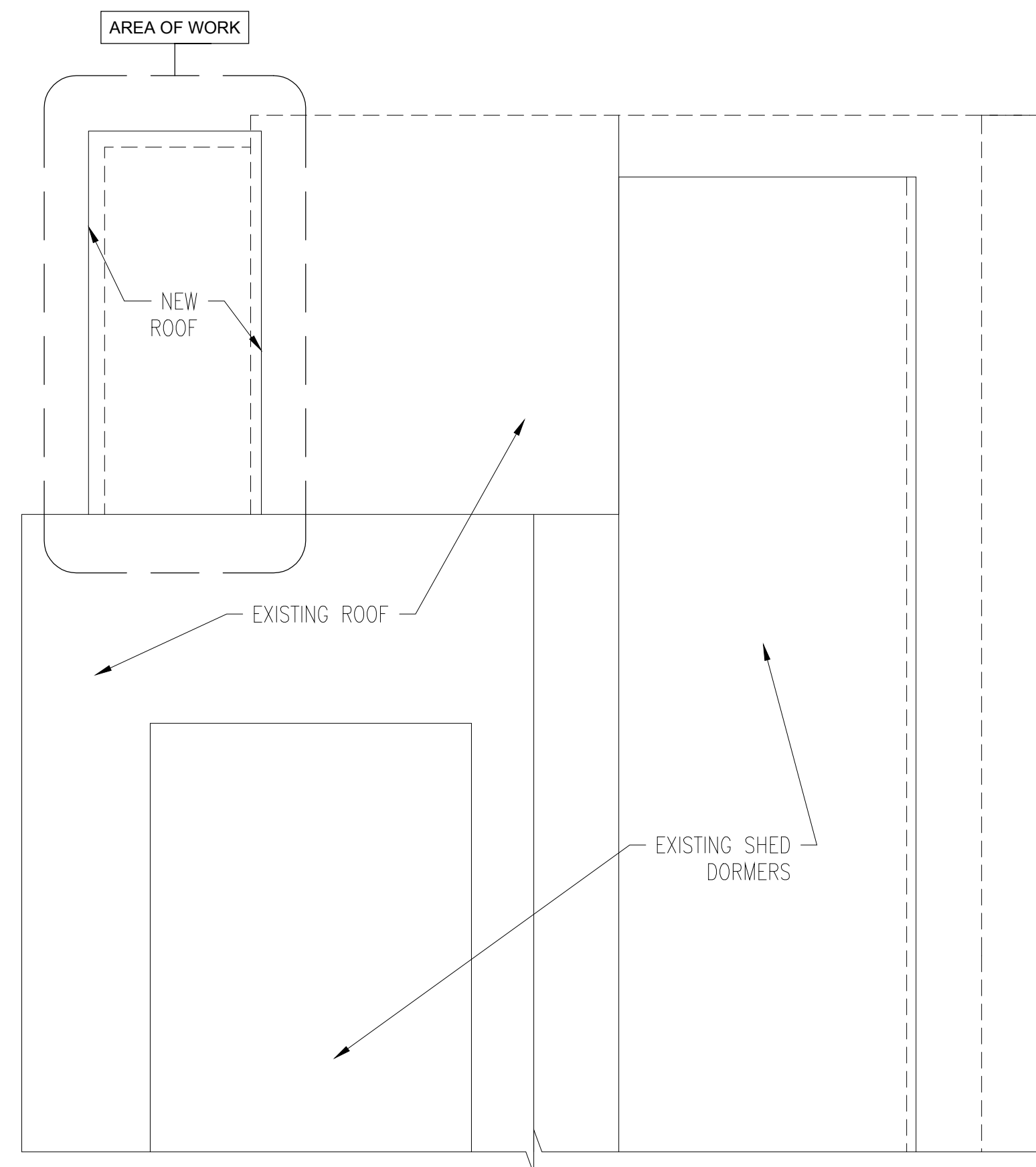
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2/28/24 FOR BID AND APPROVALS
NEW MUDROOM AND GARAGE RENOVATION
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1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

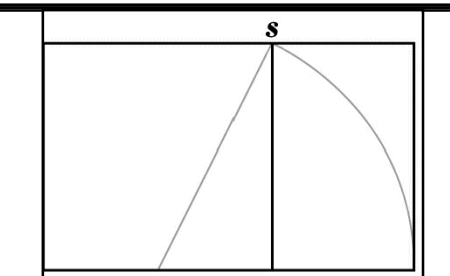


2 FIRST FLOOR ELECTRICAL AND LIGHTING PLAN
SCALE: 1/4" = 1'-0"



3 ROOF PLAN
SCALE: 1/4" = 1'-0"

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TITLE: PROPOSED FIRST FLOOR PLAN, ROOF
PLAN, ELECTRICAL AND LIGHTING PLAN

DRAWN BY: FS

SHEET:

DATE: 08 JAN 2024

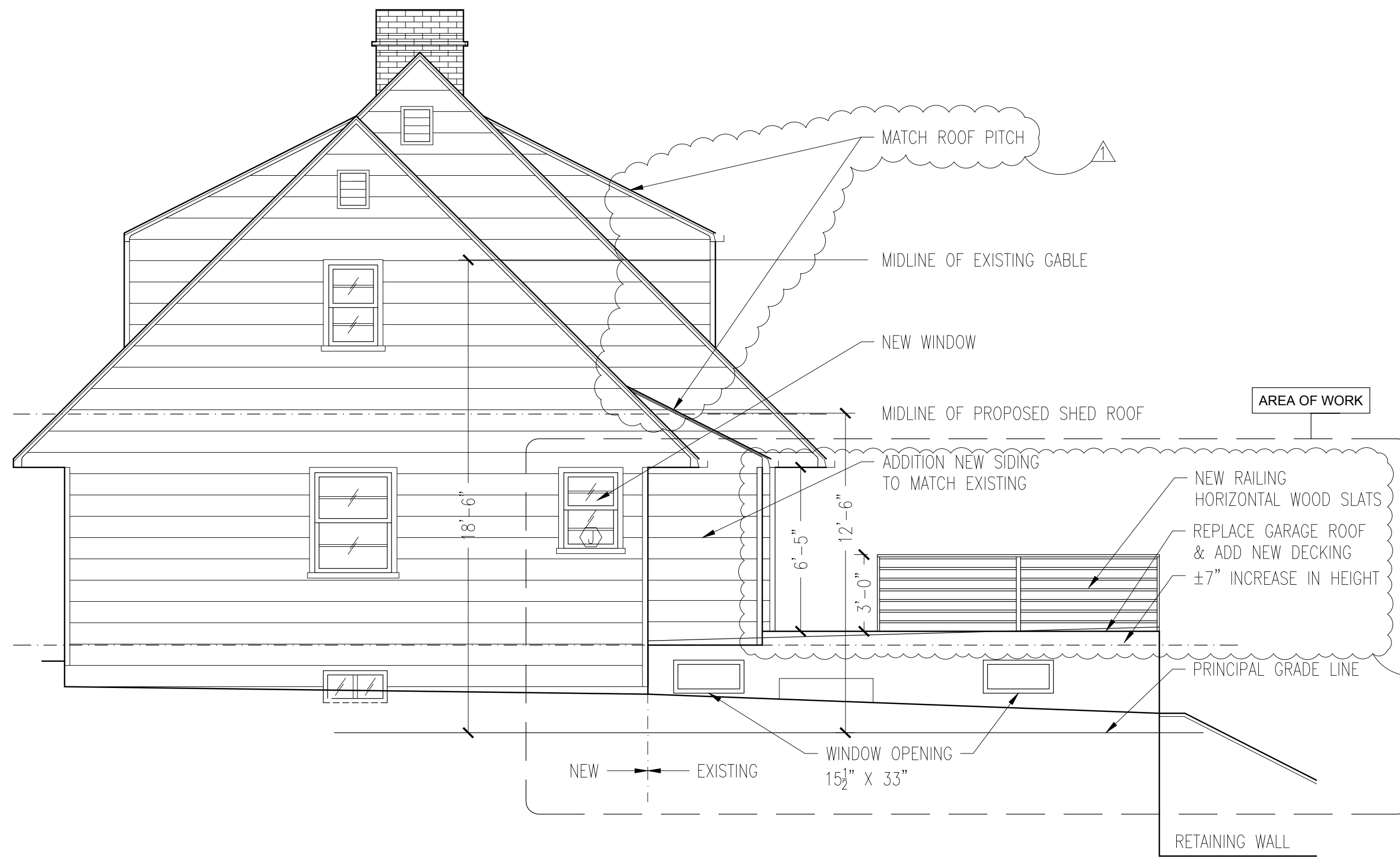
A.2

SCALE: AS NOTED

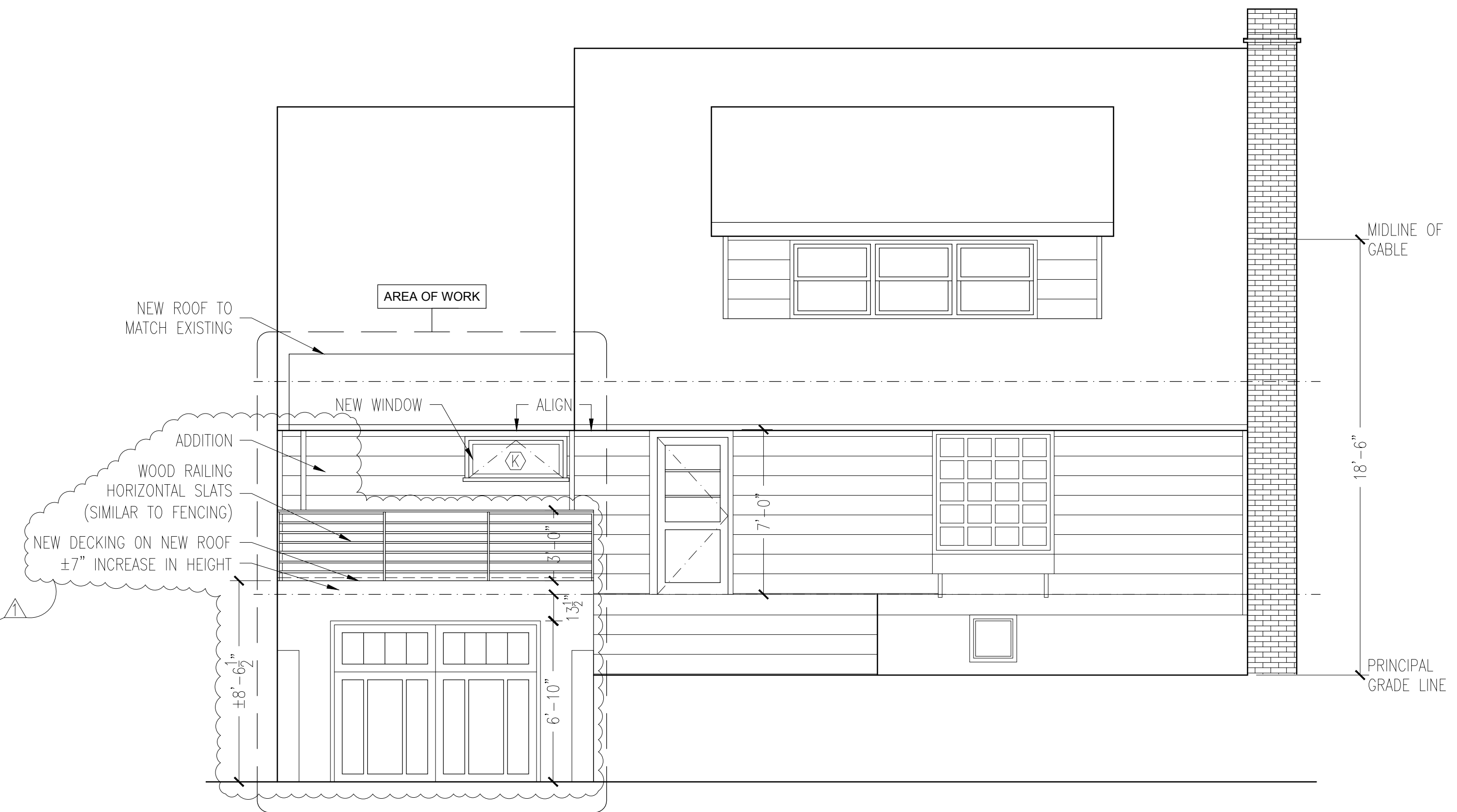
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1 PROPOSED NORTH ELEVATION PHASE TWO
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION PHASE TWO
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE (2/8/24)
CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND REFER TO OWNERS PREVIOUS JILCO WINDOW ORDER FOR EXACT SPECIFICATIONS TO MATCH WINDOWS TO BE MARVIN ULTIMATE CLAD SERIES, DOUBLE HUNG WINDOWS TO BE ULTIMATE DOUBLE HUNG NEXT GENERATION EXTERIOR 7/8" SIMULATED SQUARED PROFILE DIVIDE LITES W/ 1/8" SPACER BAR BLACK, SQUARE STICKING INTERIOR SPECIAL CUT 1" W X 2" H CONFIGURATION AS PER DWGS. LOW E ARGON GLASS
EXTERIOR CLAD COLOR: EBONY
INTERIOR: PRIMED PINE
HARDWARE: MATTE BLACK FINISH, FOLDING HANDLES FOR AWNINGS, LIFT LOCK CONTEMPORARY FOR DOUBLE HUNGS
SCREENS: FULL INSECT SCREEN WITH CHARCOAL FIBERGLASS MESH

TAG	QTY	LOCATION	TYPE	MODEL NO.	ROUGH OPENING (WxH)	FRAME SIZE (WxH)	NOTES
PHASE TWO							
J	1	BATHROOM	DOUBLE HUNG	CUDH-NG2014	2'-2 1/2" x 3'-0"	2'-1 1/2" x 2'-11 1/2"	OBSCURE GLASS
K	1	MUDROOM	AWNING	CUAWN4820	4'-1" x 1'-7 1/8"	4'-0" x 1'-7 1/8"	

DOOR SCHEDULE (2/8/24)

TAG	QTY	LOCATION	MANUFACTURER	MODEL NO.	SIZE	MATERIALS	NOTES
PHASE TWO							
J	2	MUDROOM CLOSET	SIMPSON	49900	(2) 2'-0" x 6'-8"	FIR	BI-PASS FLUSH INTERIOR SLIDING DOORS

OWNER TO SUPPLY HARDWARE, CONTRACTOR TO INSTALL

LIGHTING & FIXTURES SCHEDULE
OWNER TO PURCHASE DECORATIVE FIXTURES & FANS ONLY, CONTRACTOR TO INSTALL.

MUDROOM PHASE TWO

ITEM	QTY	TYPE	LOCATION	MANUF	NAME	MODEL #	FINISH	NOTES
A	6	RECESSED DOWNLIGHT	MUDROOM, BATHROOM	LITHONIA	4" LED	WF4	WHITE	
C	1	WALL SCONCE	BATHROOM					OWNER TO PURCHASE

PLUMBING FIXTURE SCHEDULE
OWNER TO PROVIDE, CONTRACTOR TO INSTALL.

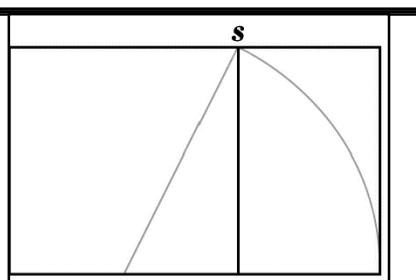
BATHROOM PHASE 2

ITEM	MANUFACTURER	TYPE	MODEL NO.	FINISH	NOTES
SINK					
FAUCET					
TOILET					
SHOWER BASE					
SHOWER CONTROLS					
SHOWER HEAD					

FINISHES SCHEDULE AND SPECIFICATIONS

ROOM	FLOOR	BASE	WALL	CEILING	WINDOW/DOOR TRIM
MUDROOM	OWNER TO SUPPLY, CONTRACTOR TO INSTALL	PAINTED WOOD, FLAT	GWB		4" FLAT
EXTERIOR ITEM					
ROOF	MATCH EXISTING ASPHALT SHINGLES				
SIDING	MATCH EXISTING WOOD SHINGLES				
TRIM	MATCH EXISTING WOOD WINDOW & DOOR TRIM, CORNER BOARDS, RAKE BOARDS, SOFFITS				
METAL FLASHINGS	MATCH EXISTING				
GUTTERS	MATCH EXISTING				

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TITLE:
PROPOSED ELEVATIONS/ SCHEDULES

DRAWN BY: FS	SHEET:
DATE: 08 JAN 2024	A.3
SCALE: AS NOTED	