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133-135 MAIN STREET

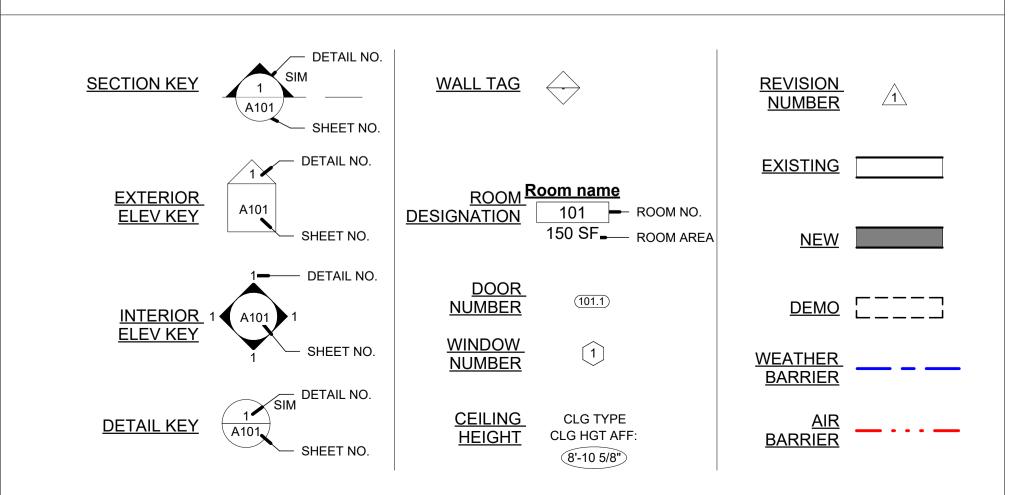
133-135 MAIN STREET COLD SPRING, NY 10516

ISSUE DATE: 11/27/2023

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LATEST AND PERTINENT APPLICABLE CODES AND ZONING REGULATIONS. SHOULD ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS BE IN CONFLICT WITH SAID CODES, CONTRACTORS SHALL IMMEDIATELY INFORM THE ARCHITECT.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS IN THESE DOCUMENTS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE WORK AND THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THE DRAWINGS.
- WITH THE EXCEPTION OF THOSE NOTED AS "OWNER SUPPLIED" ITEMS, CONTRACTORS SHALL PROVIDE ALL ITEMS AND LABOR NECESSARY FOR THE COMPLETION OF THE WORK SHOWN ON THE CONTRACT DOCUMENTS WHETHER THOSE ITEMS ARE EXPRESSLY SPECIFIED OR NOT, INCLUDING, BUT NOT LIMITED TO TAX, PURCHASE, DELIVERY ARRANGEMENTS AND STORAGE
- GC SHALL OBTAIN ALL NECESSARY SUBMITTALS AND SHOP DRAWINGS. GC SHALL REVIEW THEM FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS AND SITE CONDITIONS. GC SHALL THEN FORWARD THE SUBMITTALS AND SHOP DRAWINGS TO THE ARCHITECT FOR PROPER DISTRIBUTION AMONG THE DESIGN TEAM FOR THEIR COMMENTS AND/OR APPROVAL FOR COMPLIANCE WITH DESIGN INTENT. GC MUST ALLOW ADEQUATE TIME FOR DISTRIBUTION, REVIEW AND RETURN OF THESE ITEMS.
- GC SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR SUBMITTAL OF SAMPLES, SHOP DRAWINGS, MANUFACTURERS' LITERATURE, AND OTHER REQUIRED INFORMATION. THEY SHALL BE SUBMITTED IN SUFFICIENT TIME TO ALLOW PROPER CONSIDERATION AND ACTION BEFORE ANY MATERIALS ARE PURCHASED AND WORK IS EXECUTED.
- GC SHALL PROVIDE PROPER COORDINATION AND SUPERVISION TO COMPLETE THE WORK
- GC SHALL COORDINATE ALL LABOR AND MATERIALS INVOLVED IN THE PROJECT AND BE RESPONSIBLE FOR SCHEDULING OF TRADES INVOLVED.
- ALL CONTRACTORS SHALL BE LICENSED AND INSURED FOR GENERAL LIABILITY, WORKERS COMP, AND PROPERTY DAMAGE AS REQUIRED BY LAW AND SHALL SUBMIT SUCH PROOF TO THE OWNER AND ARCHITECT TO AVOID ANY CLAIMS AND/OR LIENS ON THE WORK BE ASSOCIATED WITH THE OWNER AND ARCHITECT
- ALL CONTRACTORS SHALL CARRY INSURANCE OF 100% OF THE VALUE OF HIS/HER WORK IN PLACE AND SHALL COMPLY WITH ANY AND ALL ADDITIONAL SUCH REQUIREMENTS.
- 10. CERTIFICATION OF INSURANCE FOR PROPERTY DAMAGE, WORKMAN'S COMPENSATION, DISABILITY, & LIABILITY TO BE FILED WITH THE BUILDING OWNER AND ARCHITECT LISTING EACH AS CO-INSURED.
- 11. NO EXTRA WORK SHALL BE PERFORMED NOR ADDITIONAL CHARGES BE MADE UNLESS AUTHORIZATION IS OBTAINED IN WRITING FROM THE OWNER AND ARCHITECT PRIOR TO SUCH WORK.
- 12. GC SHALL MAINTAIN CONTINUOUS AND ADEQUATE PROTECTION OF ALL EXISTING CONDITIONS AND NEW CONSTRUCTION, AND SHALL REPAIR OR REPLACE ANY WORK, NEW OR EXISTING, WHICH IS DAMAGED.
- 13. GC SHALL KEEP JOB SITE FREE OF DEBRIS AND HAZARDOUS CONDITIONS AND BE RESPONSIBLE FOR THE LEGAL REMOVAL OF ALL EQUIPMENT AND DEBRIS ON DAILY BASIS AND PRIOR TO RECEIPT OF PAYMENT. NO DEBRIS IS TO BE LEFT IN THE BUILDING, UNSECURED OUTDOORS, OR ON THE STREET. ALL WORK PROCEDURES AND METHODS SHALL COMPLY WITH OSHA AND OTHER APPLICABLE REGULATIONS.
- 14. GC SHALL THOROUGHLY EXAMINE ALL CONTRACT DOCUMENTS AND IMMEDIATELY ADVISE THE ARCHITECT OF ANY ERRORS, CONFLICTS, OR DISCREPANCIES IN THE DOCUMENTS IN WRITING. ARCHITECT WILL NOT BE LIABLE FOR ASSUMPTIONS MADE BY THE CONTRACTOR.
- GC SHALL COORDINATE WITH CLIENT REGARDING STORING MATERIALS AT THE SITE.
- ALL WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH GOOD BUILDING **PRACTICE**
- 17. GC TO ENSURE ADEQUATE CLEARANCE FOR MOVING ALL MATERIALS, ASSEMBLIES AND EQUIPMENT ONTO AND OFF THE SITE AS REQUIRED.
- 18. GC SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ANY NECESSARY DRAWINGS, ARRANGE FOR ALL INSPECTIONS, OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THIS CONTRACT. HE SHALL COMPLY WITH ALL LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND WITH THE LATEST PERTINENT CODES AND THE DIRECTION OF THE DESIGNATED BUILDING INSPECTOR.
- 19. GC SHALL APPROPRIATELY COORDINATE WORK TO BE COMPLETED AND SCHEDULE ARCHITECTS' SITE
- GC SHALL COORDINATE AND COMPLY WITH BUILDING OWNER SCHEDULING REQUIREMENTS AND
- COMMUNICATE WITH BUILDING OWNER. 21. UNLESS OTHERWISE NOTED - ALL NOTES APPLY TO BOTH THE GENERAL CONTRACTOR AND THE
- SUBCONTRACTORS AS WELL AS ANY WORKERS AND TRADES EMPLOYED BY THE OWNER UNDER OTHER AGREEMENTS.
- GC TO SCHEDULE ANY NECESSARY INTERRUPTIONS OF UTILITIES WITH OWNER. COMPLETE WORK QUICKLY TO MINIMIZE SERVICE INTERRUPTIONS
- 23. ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE CONTRACTOR'S RESPONSIBILITY AT NO COST TO THE OWNER
- 24. ALL PRECAUTIONS TO BE OBSERVED IN THE BUILDING TO MAINTAIN FIRE SAFETY DURING CONSTRUCTION. KEEP HALLWAYS AND OTHER MEANS OF EGRESS CLEAR AT ALL TIMES.
- THE STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE PROTECTED AT ALL TIMES AND NOT BE
- FLOORS SHALL NOT BE OVERLOADED WITH CONSTRUCTION MATERIAL BEYOND THAT PERMITTED. THERE SHALL BE NO ONE OCCUPYING THE AREA OF WORK OR RENOVATION DURING THE COURSE OF
- THE WORK SHALL BE PERFORMED DURING PERMITTED WORKING HOURS AS PERSCRIBED BY THE BUILDING DEPARTMENT OF LOCAL JURISDICTION.
- 29. ALL BUILDING AREAS ARE TO BE BROOM SWEPT AT THE END OF EACH WORKING DAY BEFORE THE AUTHORIZED CONTRACTORS LEAVE. THE PREMISES ARE TO BE KEPT CLEAN DURING ALL TIMES CONSTRUCTION IS UNDERWAY.
- 30. PLASTIC, PAPER AND/OR TAPE MUST BE INSTALLED OVER AND AROUND ALL DOORWAYS AND WINDOWS LEADING TO THE FINISHED AREAS OF THE BUILDING. ALL PROTECTIVE MEASURES WILL BE INSPECTED BY THE BUILDING OWNER AND MUST MEET HIS APPROVAL. DUST AND LOOSE DEBRIS MUST BE KEPT TO AN ABSOLUTE MINIMUM IN ALL AREAS.
- 31. PLUMBING AND ELECTRICAL WORK SHOULD BE PERFORMED BY LICENSED CONTRACTORS. PROVIDE ALL REQUIRED PERMITS, INSURANCE, WORKMANS COMP. AND CERTIFICATIONS.

DRAWING LEGEND



ABBREVIATIONS

GYPSUM WALLBOARD

GRADE

GR

GWB

AIR CONDITIONING

AIR BARRIER

AB

CL

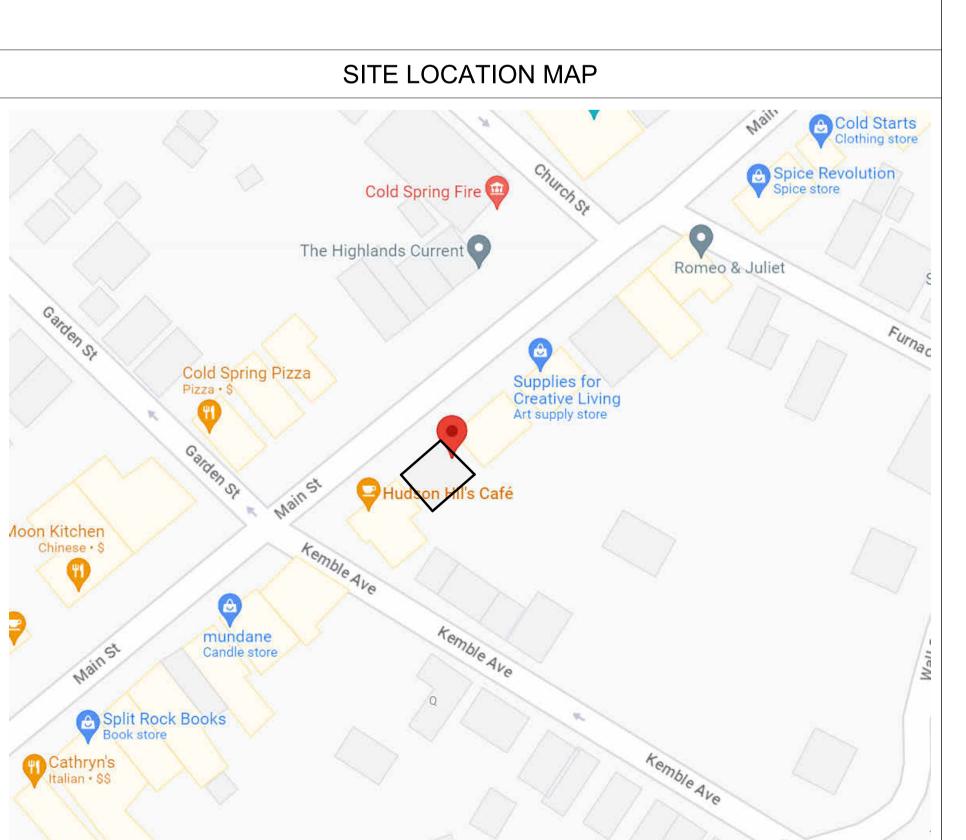
.С	ACOUSTICAL	HDW	HARDWARE
.CT	ACOUSTICAL TILE	HM	HOLLOW METAL
		HORIZ	HORIZONTAL
DD	ADDENDUM		
DH	ADHESIVE	HSS	HOLLOW STEEL SECTION
DJ	ADJIACENT	HT	HEIGHT
DJT	ADJUSTABLE	HVAC	HEATING / VENTILATING / AIR CONDITIONING
FF.	ABOVE FINISHED FLOOR	HW	HOT WATER
L · =	ALUMINUM	ID	INSIDE DIAMETER
LT	ALTERNATE	IN	INCH
P	ACCESS PANEL	INCL	INCLUDING
PPROX	APPROXIMATELY		
PPV'D	APPROVED	INSUL	INSULATING / INSULATION
RCH	ARCHITECTURAL	INT	INTERIOR
TT	ATTENUATION	JC	JANITOR CLOSET
D	BOARD	JF	JOINT FILLER
ET	BETWEEN	JST	JOIST
LDG	BUILDING	JT	JOINT KINK PLATE
LK	BLOCK	KPL	KICK PLATE
LKG	BLOCKING	LAM	LAMINATE
M	BEAM	LH	LEFT-HAND
OTT	ВОТТОМ	LTO	LIGHT
AB	CABINET	LTG	LIGHTING
EM	CEMENT	MAS	MASONRY
ER	CERAMIC	MAT	MATERIAL
K	CAULK	MAX	MAXIMUM
;L	CLOSET	MDF	MEDIUM DENSITY FIBER
LG	CEILING	MECH	MECHANICAL
LR	CLEAR	MFR	MANUFACTURER
MU	CONCRETE MASONRY UNIT	MIN	MINIMUM
OL	COLUMN	MIR	MIRROR
ONC	CONCRETE	MISC	MISCELLANEOUS
ONST	CONSTRUCTION	ML	METAL LATH
ONT	CONTINUOUS	МО	MASONRY OPENING
ONTR	CONTRACTOR	MTG	MOUNTING
OR	CORRIDOR	MTL	METAL
PT .	CARPET	MULL	MULLION
S	COUNTER SUNK	MWK	MILLWORK
T	CERAMIC TILE	N/A	NOT APPLICABLE
:W	COLD WATER	NIC	NOT IN CONTRACT
	DRAIN	NO	NUMBER
EMO	DEMOLISH	NOM	NOMINAL
F	DRINKING FOUTAIN	NTS	NOT TO SCALE
IA	DIAMETER	OA	OVERALL
IF.	DIFFUSER	OC	ON CENTER
IM	DIMENSION	OD	OUTSIDE DIAMETER
ISTR	DISTRIBUTION	ОН	OVERHEAD
N	DOWN	OP	OPERABLE
PR	DISPENSER	OPNG	OPENING
R	DOOR	OPP	OPPOSITE
S	DOWNSPOUT	PBD	PARTICLE BOARD
Τ	DRAIN TILE	PLAM	PLASTIC LAMINATE
TL	DETAIL	PLBG	PLUMBING
WG	DRAWING	PLR	PLASTER
WL	DOWEL	PNL	PANEL
A	EACH	PNT	PAINT
L	ELEVATION	PSL	POLY STRAND LUMBER
LEC	ELECTRIC	PT	PRESSURE TREATED
MERG	EMERGENCY	PTD	PAINTED
NCL	ENCLOSURE	PTN	PARTITION
QUIP	EQUIPMENT	PVC	POLYVINYL CHLORIDE
RV	ENTHALPY RECOVERY	PWD	PLYWOOD
	VENTILATOR	RA	RETURN AIR
XH	EXHAUSE	RCP	REFLECTED CEILING PLAN
XP	EXPOSED	RECPT	RECEPTACLE
XT	EXTERIOR	REF	REFERENCE
XTG	EXISTING	REFR	REFRIGERATOR
Al	FRESH AIR INTAKE	RELOC	RELOCATE
D	FLOOR DRAIN	REQ'D	REQUIRED
IN	FINISH	RES	RESILIENT
LR	FLOOR	RET	RETURN
LUOR	FLUORESCENT	REV	REVISION
LX	FLEXIBLE	RFL	REFLECT(ED) OR (IVE)
Р	FIREPROOF	RH	RIGHT-HAND
R	FRAME	RM	ROOM
Т	FOOT (FEET)	RO	ROUGH OPENING
TG	FOOTING	SCHED	SCHEDULE
UR	FURRING	SECT	SECTION
XD	FIXED (INOPERABLE)	SHT	SHEET
SA .	GAUGE, GAGE	SIM	SIMILAR
SALV	GALVANIZED	SP	SPEAKER
C	GENERAL CONTRACTOR	SPEC	SPECIFICATIONS(S)
EN	GENERAL	SQ	SQUARE
SL .	GLASS (GLAZING)	SS	STAINLESS STEEL
SND	GROUND		

STD	STANDARD
STOR	STORAGE
STRUCT	STRUCTURAL
SURF	SURFACE
SUSP	SUSPENDED
SYM	SYMMETRICAL
TEL	TELEPHONE
THK	THICK(NESS)
ТО	TOP OF
TRANSF	TRANSFORMER
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VB	VAPOR BARRIER
VCT	VINYL COMPOSITE TILE
VENT	VENTILATION
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VIN	VINYL
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WH	WALL HUNG
WP	WATERPROOF
WRB	WEATHER RESISTIVE BARRIER
WSCT	WAINSCOT

DRAWING LIST TITLE **ARCHITECTURAL** T-100 **GENERAL NOTES & DRAWING LIST** PROPOSED FLOOR PLANS A-102 PROPOSED FLOOR PLANS SITE A-301 PROPOSED ELEVATIONS SITE-101 PROPOSED SITE PLAN A-401 PROPOSED BUILDING SECTIONS ROOF DETAILS A-501 DEMOLITION WINDOW AND DOOR DETAILS D-101 **EXISTING PLANS** STOREFRONT ELEVATION AND PLAN **EXISTING PLANS** STOREFRONT DETAILS D-102 A-504 D-301 **EXISTING ELEVATIONS** A-505 PORCH STAIR DETAILS REAR DECK DETAILS - A-506 FOUNDATION DETAILS EXTERIOR STAIR DETAILS A-509 EXTERIOR STAIR DETAILS A-701 EXISTING CONDITIONS DETAIL PRECEDENTS A-911 DOOR/WINDOW SCHEDULE STRUCTURAL

S-101 FRAMING PLANS

S-102 FRAMING PLANS







PROJECT

133-135 **MAIN** STREET

133-135 MAIN STREET COLD SPRING, NY 10516

TAX ID: 48.8-6-43

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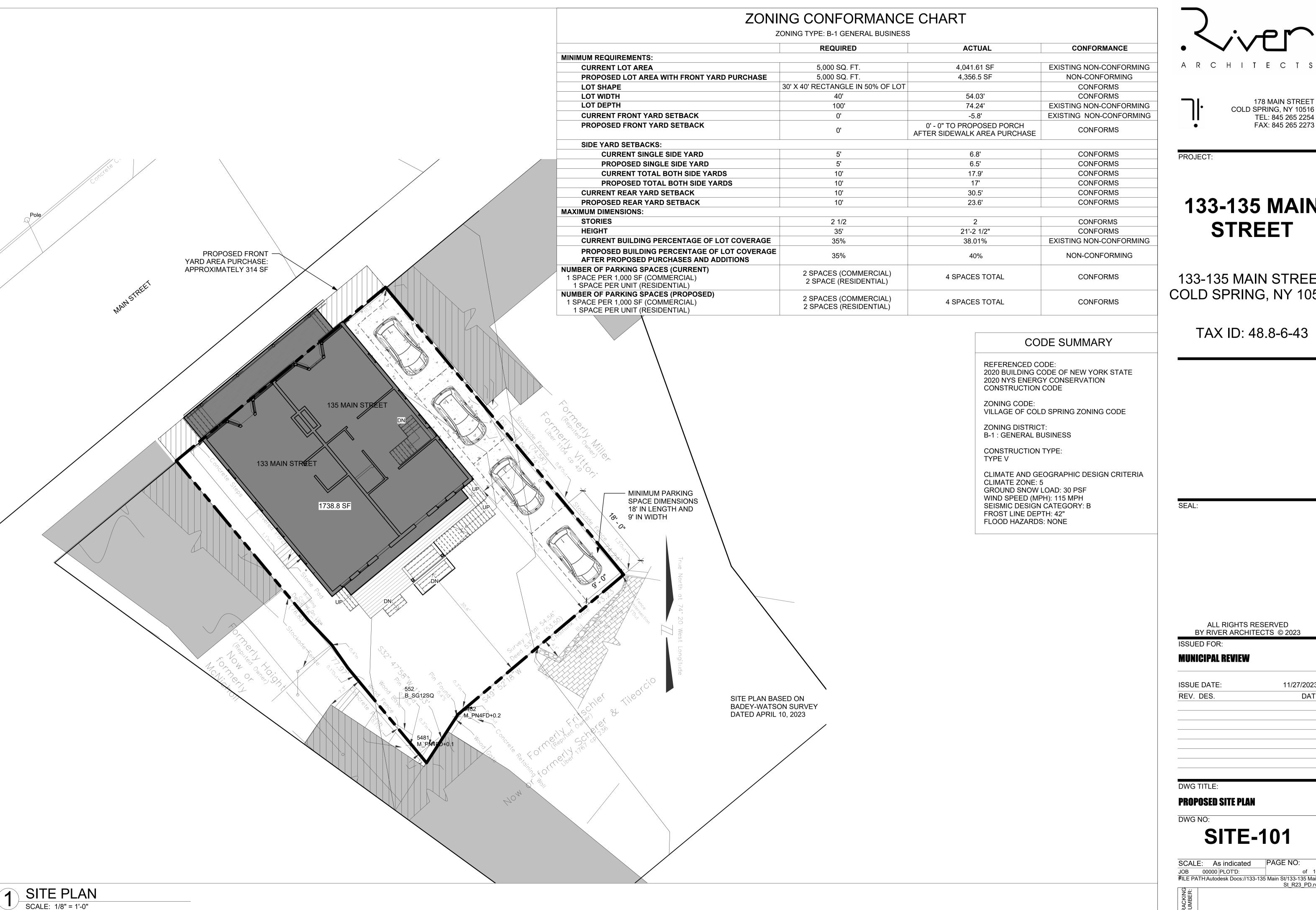
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GENERAL NOTES & DRAWING LIST

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T-100

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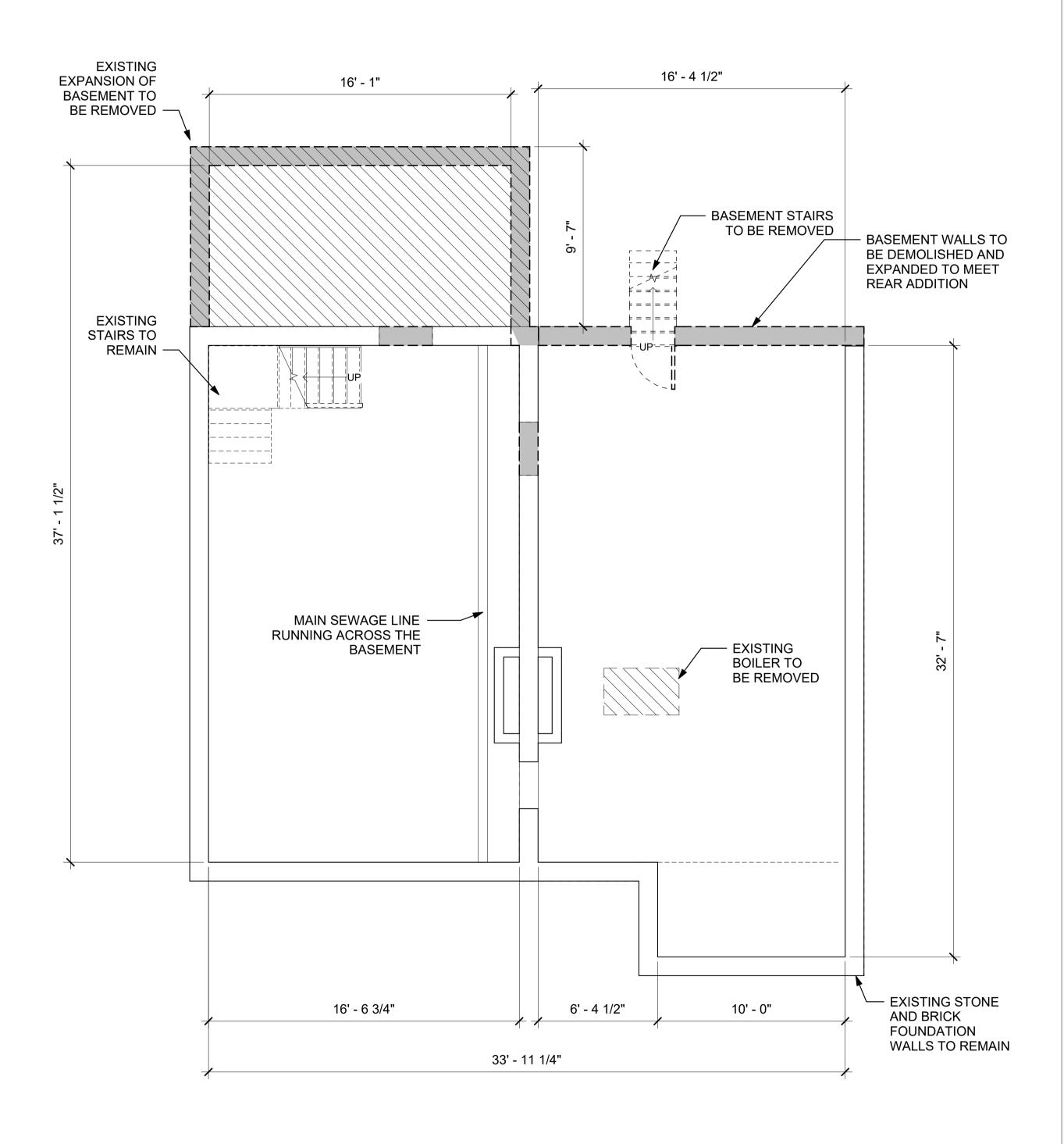
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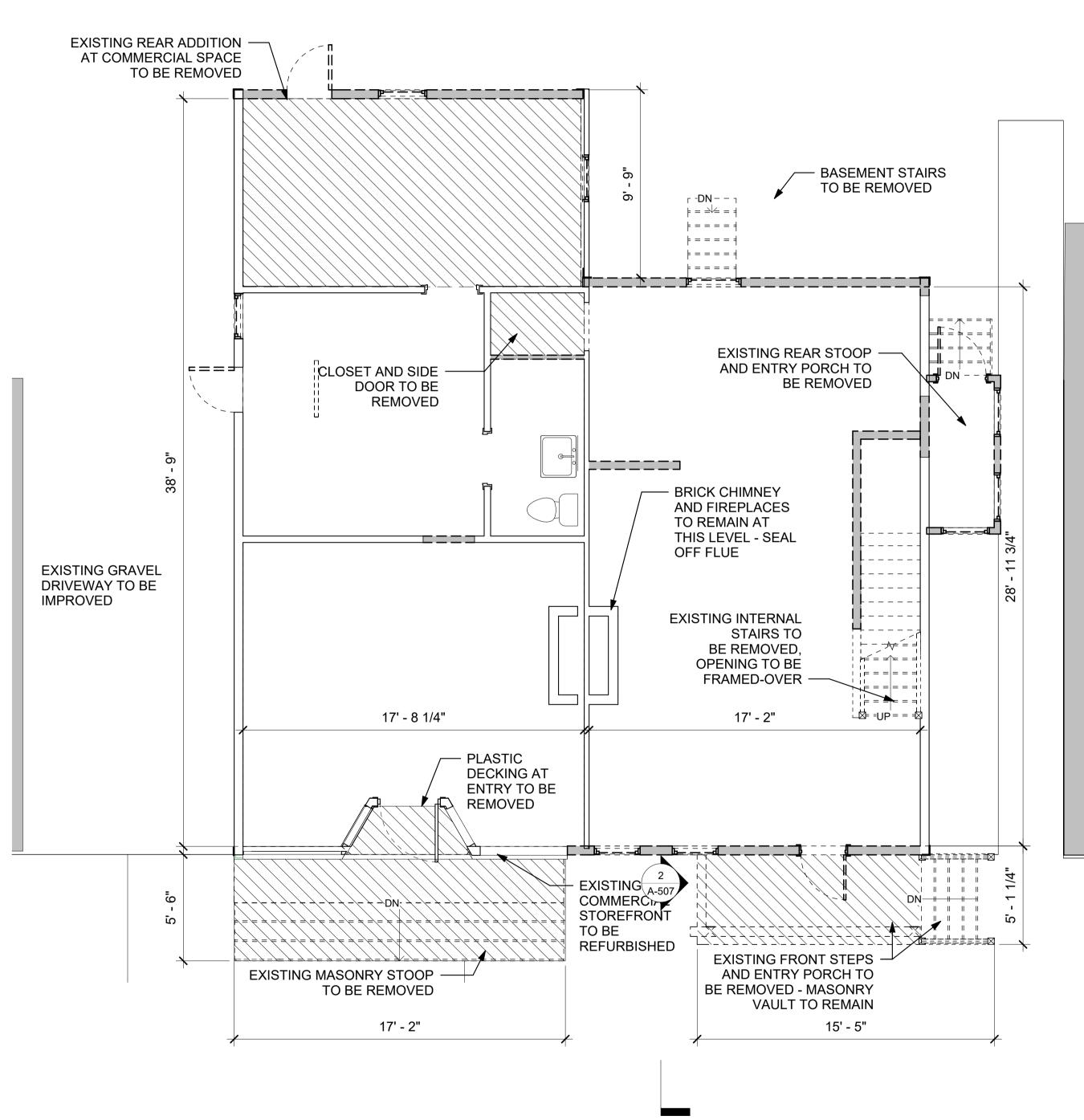
PROPOSED SITE PLAN

DWG NO:

SITE-101

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EXISTING PLANS

DWG NO:

D-101

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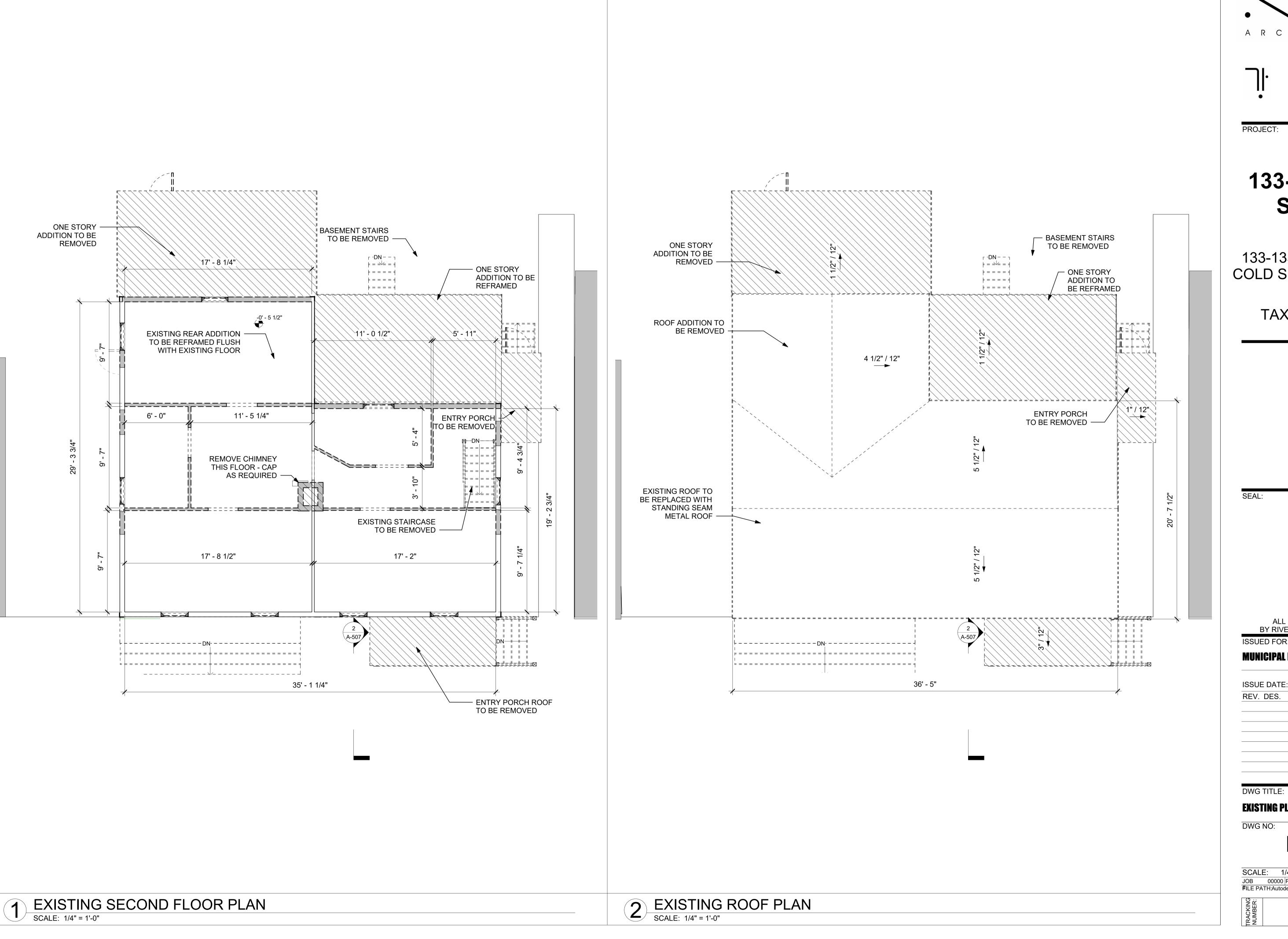
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EXISTING BASEMENT PLAN

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EXISTING FIRST FLOOR PLAN

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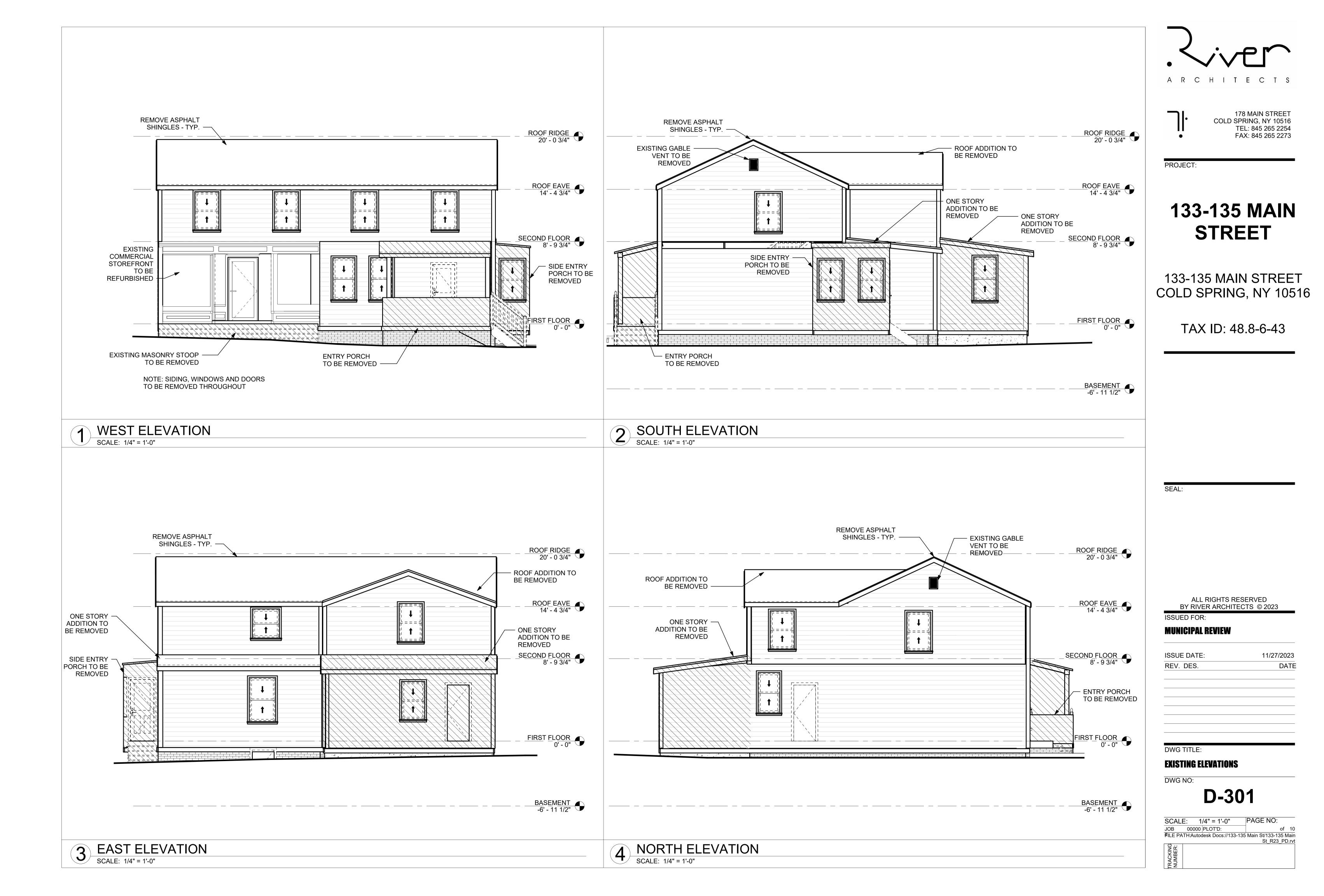
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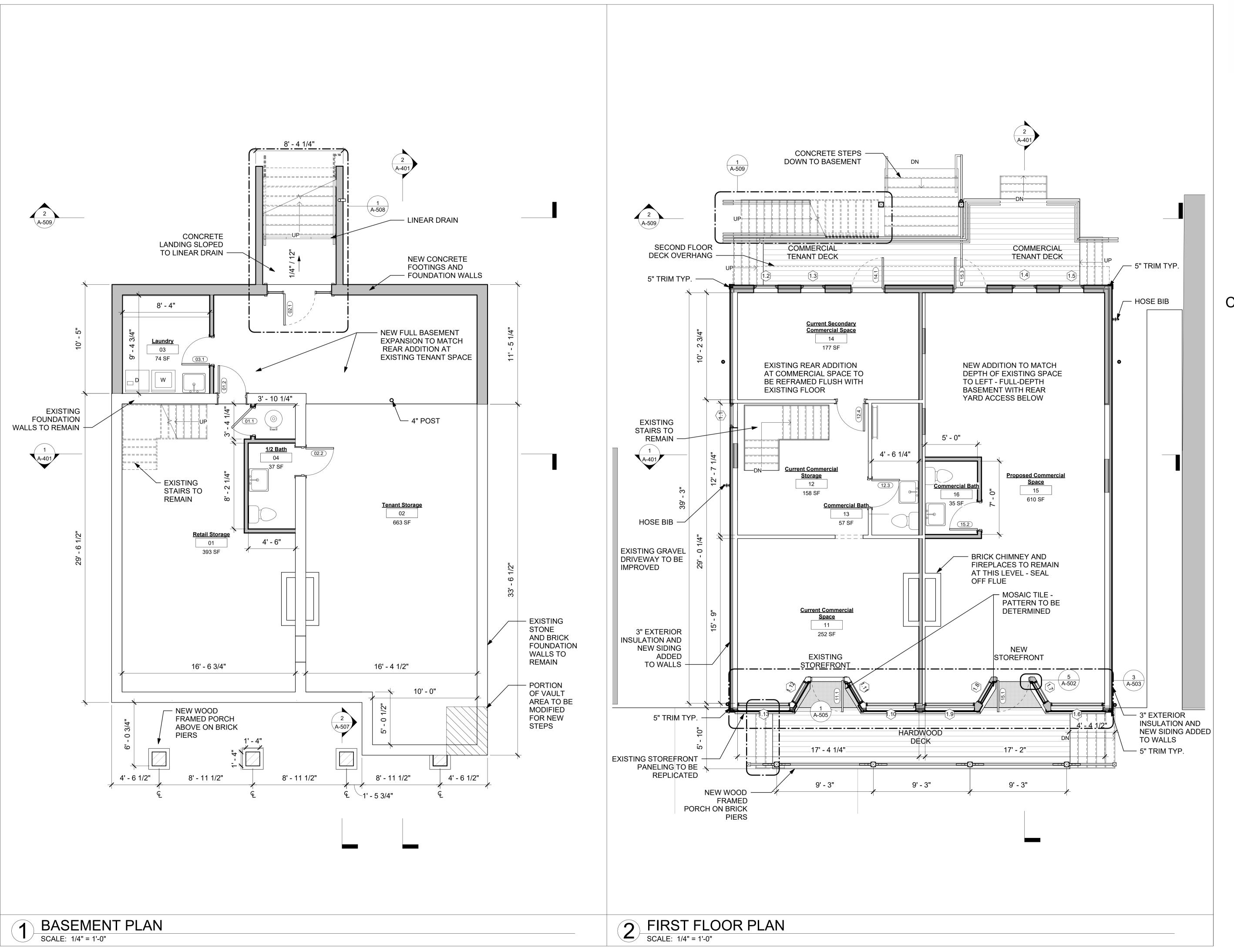
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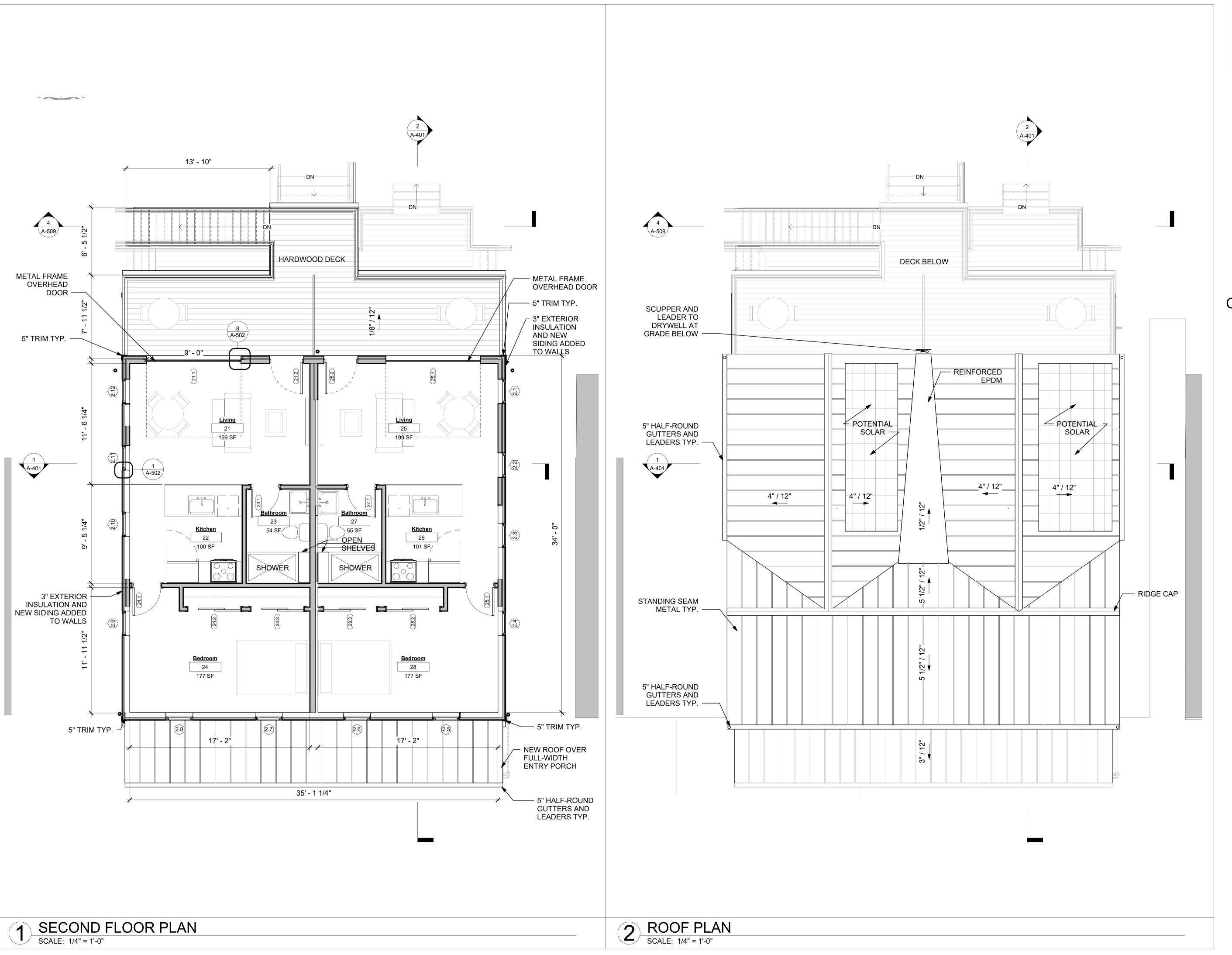
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PROPOSED FLOOR PLANS

DWG NO:

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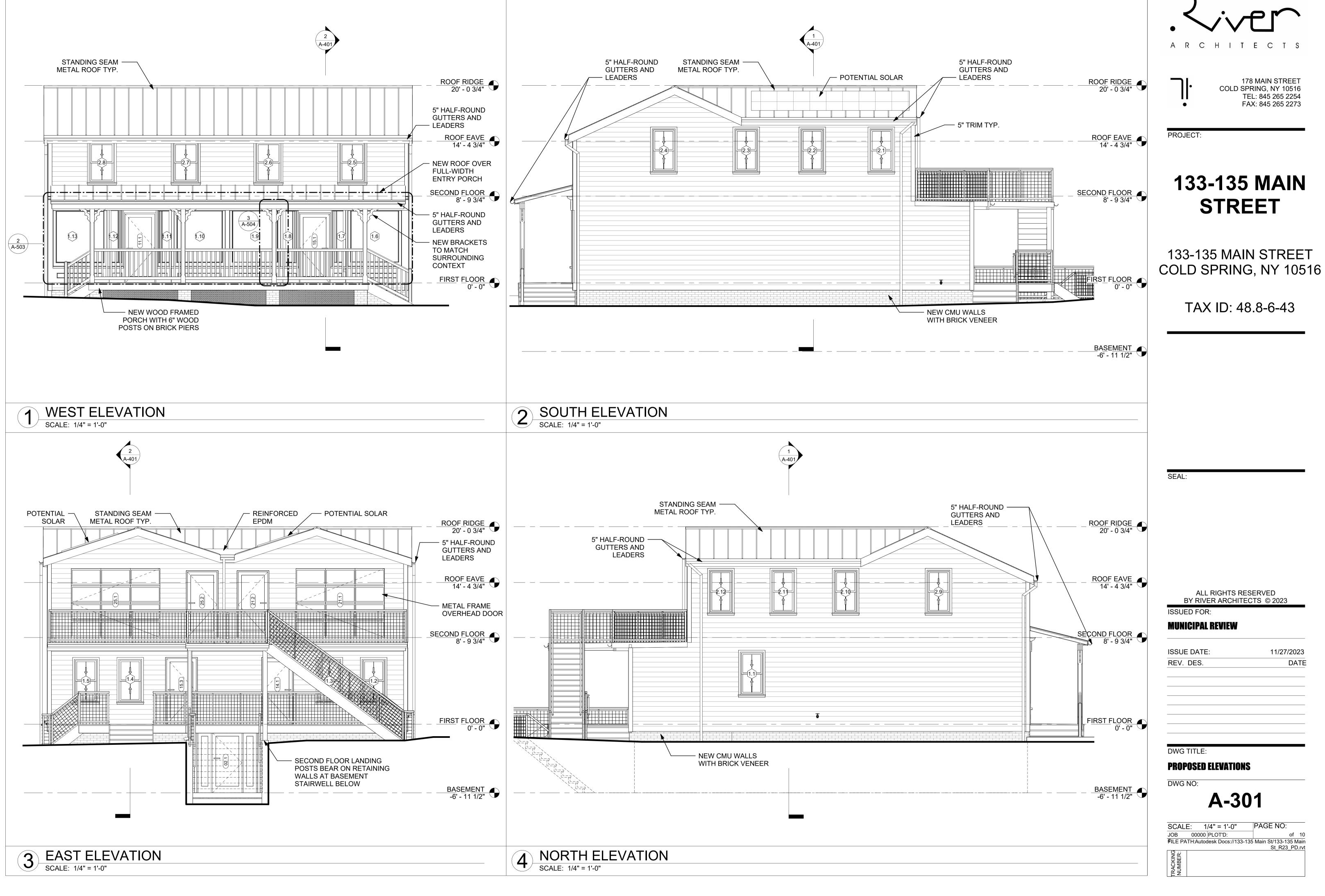
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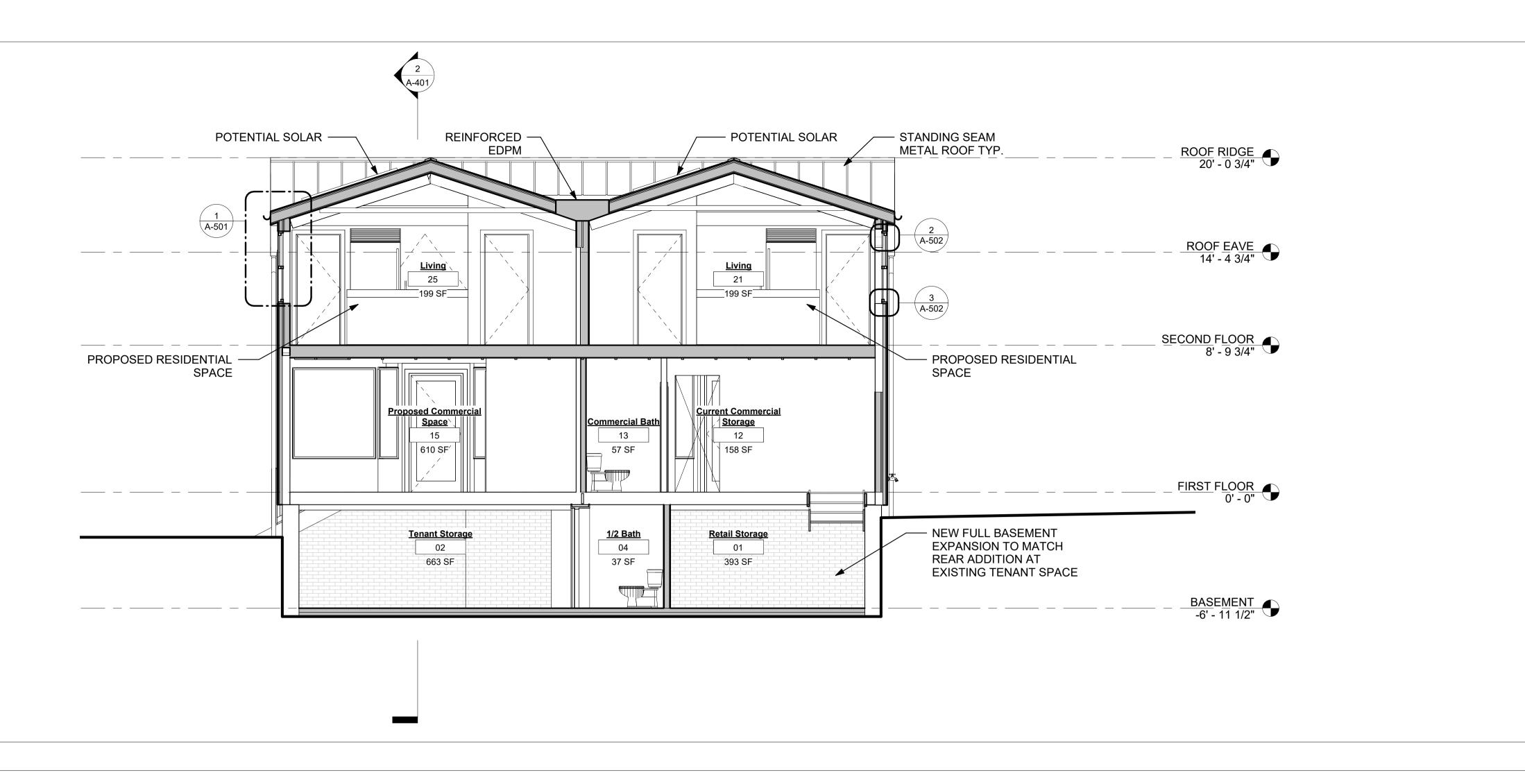
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133-135 MAIN

133-135 MAIN STREET





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PROPOSED BUILDING SECTIONS

DWG NO:

A-40

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