



ISSUED FOR: MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023

**.River**  
ARCHITECTS

**133-135 MAIN STREET**

133-135 MAIN STREET  
COLD SPRING, NY 10516



GENERAL NOTES	
1.	ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LATEST AND PERTINENT APPLICABLE CODES AND ZONING REGULATIONS . SHOULD ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS BE IN CONFLICT WITH SAID CODES, CONTRACTORS SHALL IMMEDIATELY INFORM THE ARCHITECT.
2.	WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS IN THESE DOCUMENTS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE WORK AND THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THE DRAWINGS.
3.	WITH THE EXCEPTION OF THOSE NOTED AS "OWNER SUPPLIED" ITEMS, CONTRACTORS SHALL PROVIDE ALL ITEMS AND LABOR NECESSARY FOR THE COMPLETION OF THE WORK SHOWN ON THE CONTRACT DOCUMENTS WHETHER THOSE ITEMS ARE EXPRESSLY SPECIFIED OR NOT, INCLUDING, BUT NOT LIMITED TO TAX, PURCHASE, DELIVERY ARRANGEMENTS AND STORAGE.
4.	GC SHALL OBTAIN ALL NECESSARY SUBMITTALS AND SHOP DRAWINGS. GC SHALL REVIEW THEM FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS AND SITE CONDITIONS. GC SHALL THEN FORWARD THE SUBMITTALS AND SHOP DRAWINGS TO THE ARCHITECT FOR PROPER DISTRIBUTION AMONG THE DESIGN TEAM FOR THEIR COMMENTS AND/OR APPROVAL FOR COMPLIANCE WITH DESIGN INTENT. GC MUST ALLOW ADEQUATE TIME FOR DISTRIBUTION, REVIEW AND RETURN OF THESE ITEMS.
5.	GC SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR SUBMITTAL OF SAMPLES, SHOP DRAWINGS, MANUFACTURERS' LITERATURE, AND OTHER REQUIRED INFORMATION. THEY SHALL BE SUBMITTED IN SUFFICIENT TIME TO ALLOW PROPER CONSIDERATION AND ACTION BEFORE ANY MATERIALS ARE PURCHASED AND WORK IS EXECUTED.
6.	GC SHALL PROVIDE PROPER COORDINATION AND SUPERVISION TO COMPLETE THE WORK.
7.	GC SHALL COORDINATE ALL LABOR AND MATERIALS INVOLVED IN THE PROJECT AND BE RESPONSIBLE FOR SCHEDULING OF TRADES INVOLVED.
8.	ALL CONTRACTORS SHALL BE LICENSED AND INSURED FOR GENERAL LIABILITY, WORKERS COMP, AND PROPERTY DAMAGE AS REQUIRED BY LAW AND SHALL SUBMIT SUCH PROOF TO THE OWNER AND ARCHITECT TO AVOID ANY CLAIMS AND/OR LIENS ON THE WORK BE ASSOCIATED WITH THE OWNER AND ARCHITECT.
9.	ALL CONTRACTORS SHALL CARRY INSURANCE OF 100% OF THE VALUE OF HIS/HER WORK IN PLACE AND SHALL COMPLY WITH ANY AND ALL ADDITIONAL SUCH REQUIREMENTS.
10.	CERTIFICATION OF INSURANCE FOR PROPERTY DAMAGE, WORKMAN'S COMPENSATION, DISABILITY, & LIABILITY TO BE FILED WITH THE BUILDING OWNER AND ARCHITECT LISTING EACH AS CO-INSURED.
11.	NO EXTRA WORK SHALL BE PERFORMED NOR ADDITIONAL CHARGES BE MADE UNLESS AUTHORIZATION IS OBTAINED IN WRITING FROM THE OWNER AND ARCHITECT PRIOR TO SUCH WORK.
12.	GC SHALL MAINTAIN CONTINUOUS AND ADEQUATE PROTECTION OF ALL EXISTING CONDITIONS AND NEW CONSTRUCTION, AND SHALL REPAIR OR REPLACE ANY WORK, NEW OR EXISTING, WHICH IS DAMAGED.
13.	GC SHALL KEEP JOB SITE FREE OF DEBRIS AND HAZARDOUS CONDITIONS AND BE RESPONSIBLE FOR THE LEGAL REMOVAL OF ALL EQUIPMENT AND DEBRIS ON DAILY BASIS AND PRIOR TO RECEIPT OF PAYMENT. NO DEBRIS IS TO BE LEFT IN THE BUILDING, UNSECURED OUTDOORS, OR ON THE STREET. ALL WORK PROCEDURES AND METHODS SHALL COMPLY WITH OSHA AND OTHER APPLICABLE REGULATIONS.
14.	GC SHALL THOROUGHLY EXAMINE ALL CONTRACT DOCUMENTS AND IMMEDIATELY ADVISE THE ARCHITECT OF ANY ERRORS, CONFLICTS, OR DISCREPANCIES IN THE DOCUMENTS IN WRITING. ARCHITECT WILL NOT BE LIABLE FOR ASSUMPTIONS MADE BY THE CONTRACTOR.
15.	GC SHALL COORDINATE WITH CLIENT REGARDING STORING MATERIALS AT THE SITE.
16.	ALL WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
17.	GC TO ENSURE ADEQUATE CLEARANCE FOR MOVING ALL MATERIALS, ASSEMBLIES AND EQUIPMENT ONTO AND OFF THE SITE AS REQUIRED.
18.	GC SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ANY NECESSARY DRAWINGS, ARRANGE FOR ALL INSPECTIONS, OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THIS CONTRACT. HE SHALL COMPLY WITH ALL LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND WITH THE LATEST PERTINENT CODES AND THE DIRECTION OF THE DESIGNATED BUILDING INSPECTOR.
19.	GC SHALL APPROPRIATELY COORDINATE WORK TO BE COMPLETED AND SCHEDULE ARCHITECTS' SITE OBSERVATIONS.
20.	GC SHALL COORDINATE AND COMPLY WITH BUILDING OWNER SCHEDULING REQUIREMENTS AND COMMUNICATE WITH BUILDING OWNER.
21.	UNLESS OTHERWISE NOTED - ALL NOTES APPLY TO BOTH THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS AS WELL AS ANY WORKERS AND TRADES EMPLOYED BY THE OWNER UNDER OTHER AGREEMENTS.
22.	GC TO SCHEDULE ANY NECESSARY INTERRUPTIONS OF UTILITIES WITH OWNER. COMPLETE WORK QUICKLY TO MINIMIZE SERVICE INTERRUPTIONS.
23.	ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE CONTRACTOR'S RESPONSIBILITY AT NO COST TO THE OWNER.
24.	ALL PRECAUTIONS TO BE OBSERVED IN THE BUILDING TO MAINTAIN FIRE SAFETY DURING CONSTRUCTION. KEEP HALLWAYS AND OTHER MEANS OF EGRESS CLEAR AT ALL TIMES.
25.	THE STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE PROTECTED AT ALL TIMES AND NOT BE DISTURBED.
26.	FLOORS SHALL NOT BE OVERLOADED WITH CONSTRUCTION MATERIAL BEYOND THAT PERMITTED.
27.	THERE SHALL BE NO ONE OCCUPYING THE AREA OF WORK OR RENOVATION DURING THE COURSE OF CONSTRUCTION.
28.	THE WORK SHALL BE PERFORMED DURING PERMITTED WORKING HOURS AS PERSCRIBED BY THE BUILDING DEPARTMENT OF LOCAL JURISDICTION.
29.	ALL BUILDING AREAS ARE TO BE BROOM SWEEP AT THE END OF EACH WORKING DAY BEFORE THE AUTHORIZED CONTRACTORS LEAVE. THE PREMISES ARE TO BE KEPT CLEAN DURING ALL TIMES CONSTRUCTION IS UNDERWAY
30.	PLASTIC, PAPER AND/OR TAPE MUST BE INSTALLED OVER AND AROUND ALL DOORWAYS AND WINDOWS LEADING TO THE FINISHED AREAS OF THE BUILDING. ALL PROTECTIVE MEASURES WILL BE INSPECTED BY THE BUILDING OWNER AND MUST MEET HIS APPROVAL. DUST AND LOOSE DEBRIS MUST BE KEPT TO AN ABSOLUTE MINIMUM IN ALL AREAS.
31.	PLUMBING AND ELECTRICAL WORK SHOULD BE PERFORMED BY LICENSED CONTRACTORS. PROVIDE ALL REQUIRED PERMITS, INSURANCE, WORKMANS COMP. AND CERTIFICATIONS.

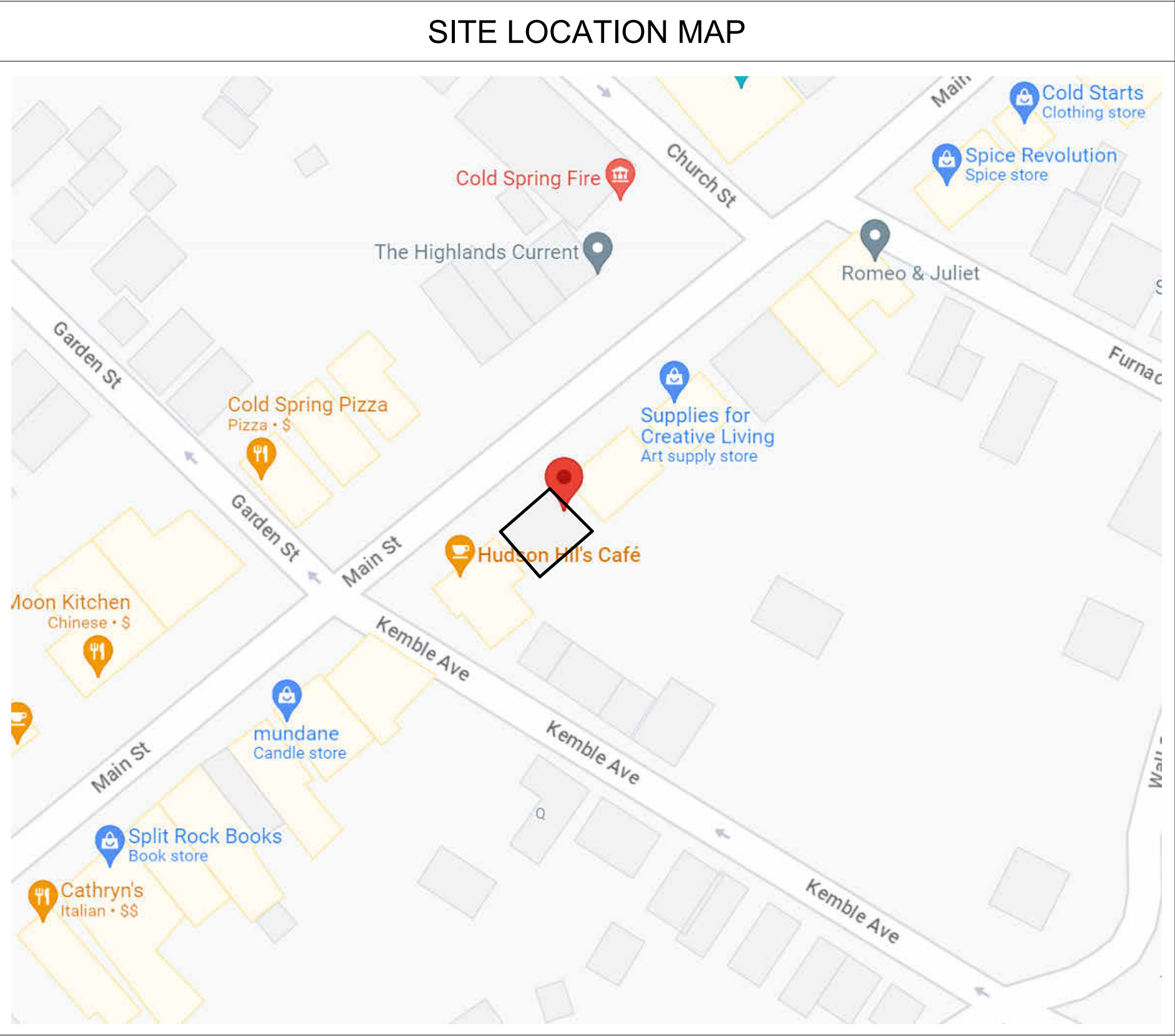
DRAWING LEGEND		
<div><div>SECTION KEY</div><div><div><div><div>DETAIL NO.</div><div>1</div><div>SIM</div></div><div><div>A101</div><div></div></div></div><div>SHEET NO.</div></div><div><div>EXTERIOR ELEV KEY</div><div><div><div>DETAIL NO.</div><div>1</div><div>A101</div></div><div><div>A101</div><div></div></div></div><div>SHEET NO.</div></div><div><div>INTERIOR ELEV KEY</div><div><div><div>DETAIL NO.</div><div>1</div><div>A101</div></div><div><div>A101</div><div></div></div></div><div>SHEET NO.</div></div><div><div>DETAIL KEY</div><div><div><div>DETAIL NO.</div><div>1</div><div>SIM</div></div><div><div>A101</div><div></div></div></div><div>SHEET NO.</div></div></div>	<div><div>WALL TAG</div><div><div><div></div></div></div></div> <div><div>ROOM DESIGNATION</div><div><div>Room name</div><div>101</div><div>ROOM NO.</div><div>150 SF</div><div>ROOM AREA</div></div></div> <div><div>DOOR NUMBER</div><div><div>101-1</div></div></div> <div><div>WINDOW NUMBER</div><div><div>1</div></div></div> <div><div>CEILING HEIGHT</div><div><div>CLG TYPE</div><div>CLG HGT AFF:</div><div>8'-10 5/8"</div></div></div>	<div><div>REVISION NUMBER</div><div><div>1</div></div></div> <div><div>EXISTING</div><div><div></div></div></div> <div><div>NEW</div><div><div></div></div></div> <div><div>DEMO</div><div><div></div></div></div> <div><div>WEATHER BARRIER</div><div><div></div></div></div> <div><div>AIR BARRIER</div><div><div></div></div></div>

A/C	AIR CONDITIONING	GR	GRADE
AB	AIR BARRIER	GWB	GYPSUM WALLBOARD
AC	ACOUSTICAL	HDW	HARDWARE
ACT	ACOUSTICAL TILE	HM	HOLLOW METAL
ADD	ADDENDUM	HORIZ	HORIZONTAL
ADH	ADHESIVE	HSS	HOLLOW STEEL SECTION
ADJ	ADJACENT	HT	HEIGHT
ADJT	ADJUSTABLE	HVAC	HEATING / VENTILATING / AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR	HW	HOT WATER
AL	ALUMINUM	ID	INSIDE DIAMETER
ALT	ALTERNATE	IN	INCH
AP	ACCESS PANEL	INCL	INCLUDING
APPROX	APPROXIMATELY	INSUL	INSULATING / INSULATION
APPV'D	APPROVED	INT	INTERIOR
ARCH	ARCHITECTURAL	JC	JANITOR CLOSET
ATT	ATTENUATION	JF	JOINT FILLER
BD	BOARD	JST	JOIST
BET	BETWEEN	JT	JOINT
BLDG	BUILDING	KPL	KICK PLATE
BLK	BLOCK	LAM	LAMINATE
BLKG	BLOCKING	LH	LEFT-HAND
BM	BEAM	LT	LIGHT
BOTT	BOTTOM	LTG	LIGHTING
CAB	CABINET	MAS	MASONRY
CEM	CEMENT	MAT	MATERIAL
CER	CERAMIC	MAX	MAXIMUM
CK	CAULK	MDF	MEDIUM DENSITY FIBER
CL	CLOSET	MECH	MECHANICAL
CLG	CEILING	MFR	MANUFACTURER
CLR	CLEAR	MIN	MINIMUM
CMU	CONCRETE MASONRY UNIT	MIR	MIRROR
COL	COLUMN	MISC	MISCELLANEOUS
CONC	CONCRETE	ML	METAL LATH
CONST	CONSTRUCTION	MO	MASONRY OPENING
CONT	CONTINUOUS	MTG	MOUNTING
CONTR	CONTRACTOR	MTL	METAL
COR	CORRIDOR	MULL	MULLION
CPT	CARPET	MWK	MILLWORK
CS	COUNTER SUNK	N/A	NOT APPLICABLE
CT	CERAMIC TILE	NIC	NOT IN CONTRACT
CW	COLD WATER	NO	NUMBER
D	DRAIN	NOM	NOMINAL
DEMO	DEMOLISH	NTS	NOT TO SCALE
DF	DRINKING FOUTAIN	OA	OVERALL
DIA	DIAMETER	OC	ON CENTER
DIF	DIFFUSER	OD	OUTSIDE DIAMETER
DIM	DIMENSION	OH	OVERHEAD
DISTR	DISTRIBUTION	OP	OPERABLE
DN	DOWN	OPNG	OPENING
DPR	DISPENSER	OPP	OPPOSITE
DR	DOOR	PBD	PARTICLE BOARD
DS	DOWNSPOUT	PLAM	PLASTIC LAMINATE
DT	DRAIN TILE	PLBG	PLUMBING
DTL	DETAIL	PLR	PLASTER
DWG	DRAWING	PNL	PANEL
DWL	DOWEL	PNT	PAINT
EA	EACH	PSL	POLY STRAND LUMBER
EL	ELEVATION	PT	PRESSURE TREATED
ELEC	ELECTRIC	PTD	PAINTED
EMERG	EMERGENCY	PTN	PARTITION
ENCL	ENCLOSURE	PVC	POLYVINYL CHLORIDE
EQUIP	EQUIPMENT	PWD	PLYWOOD
ERV	ENTHALPY RECOVERY VENTILATOR	RA	RETURN AIR
EXH	EXHAUSE	RCP	REFLECTED CEILING PLAN
EXP	EXPOSED	RECPT	RECEPTACLE
EXT	EXTERIOR	REF	REFERENCE
EXTG	EXISTING	REFR	REFRIGERATOR
FAI	FRESH AIR INTAKE	RELOC	RELOCATE
FD	FLOOR DRAIN	REQ'D	REQUIRED
FIN	FINISH	RES	RESILIENT
FLR	FLOOR	RET	RETURN
FLUOR	FLUORESCENT	REV	REVISION
FLX	FLEXIBLE	RFL	REFLECT(ED) OR (IVE)
FP	FIREPROOF	RH	RIGHT-HAND
FR	FRAME	RM	ROOM
FT	FOOT (FEET)	RO	ROUGH OPENING
FTG	FOOTING	SCHED	SCHEDULE
FUR	FURRING	SECT	SECTION
FXD	FIXED (INOPERABLE)	SHT	SHEET
GA	GAUGE, GAGE	SIM	SIMILAR
GALV	GALVANIZED	SP	SPEAKER
GC	GENERAL CONTRACTOR	SPEC	SPECIFICATIONS(S)
GEN	GENERAL	SQ	SQUARE
GL	GLASS (GLAZING)	SS	STAINLESS STEEL
GND	GROUND		

ABBREVIATIONS

STD	STANDARD
STOR	STORAGE
STRUCT	STRUCTURAL
SURF	SURFACE
SUSP	SUSPENDED
SYM	SYMMETRICAL
TEL	TELEPHONE
THK	THICK(NESS)
TO	TOP OF
TRANSF	TRANSFORMER
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VB	VAPOR BARRIER
VCT	VINYL COMPOSITE TILE
VENT	VENTILATION
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VIN	VINYL
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WH	WALL HUNG
WP	WATERPROOF
WRB	WEATHER RESISTIVE BARRIER
WSCT	WAINSCOT

DRAWING LIST			
TITLE		ARCHITECTURAL	
T-100	GENERAL NOTES & DRAWING LIST	A-101	PROPOSED FLOOR PLANS
		A-102	PROPOSED FLOOR PLANS
SITE		A-301	PROPOSED ELEVATIONS
SITE-101	PROPOSED SITE PLAN	A-401	PROPOSED BUILDING SECTIONS
		<del>A-501</del>	<del>ROOF DETAILS</del>
DEMOLITION		<del>A-502</del>	<del>WINDOW AND DOOR DETAILS</del>
D-101	EXISTING PLANS	<del>A-503</del>	<del>STOREFRONT ELEVATION AND PLAN</del>
D-102	EXISTING PLANS	<del>A-504</del>	<del>STOREFRONT DETAILS</del>
D-301	EXISTING ELEVATIONS	<del>A-505</del>	<del>PORCH STAIR DETAILS</del>
		<del>A-506</del>	<del>REAR DECK DETAILS</del>
		<del>A-507</del>	<del>FOUNDATION DETAILS</del>
		<del>A-508</del>	<del>EXTERIOR STAIR DETAILS</del>
		<del>A-509</del>	<del>EXTERIOR STAIR DETAILS</del>
		<del>A-701</del>	<del>EXISTING CONDITIONS</del>
		<del>A-702</del>	<del>DETAIL PRECEDENTS</del>
		<del>A-911</del>	<del>DOOR/WINDOW SCHEDULE</del>
		STRUCTURAL	
		<del>S-101</del>	<del>FRAMING PLANS</del>
		<del>S-102</del>	<del>FRAMING PLANS</del>



178 MAIN STREET  
COLD SPRING, NY 10516  
TEL.: 845 265 2254  
FAX: 845 265 2273

PROJECT:

133-135 MAIN STREET

133-135 MAIN STREET  
COLD SPRING, NY 10516

TAX ID: 48.8-6-43

SEAL:

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DWG TITLE:

GENERAL NOTES & DRAWING LIST

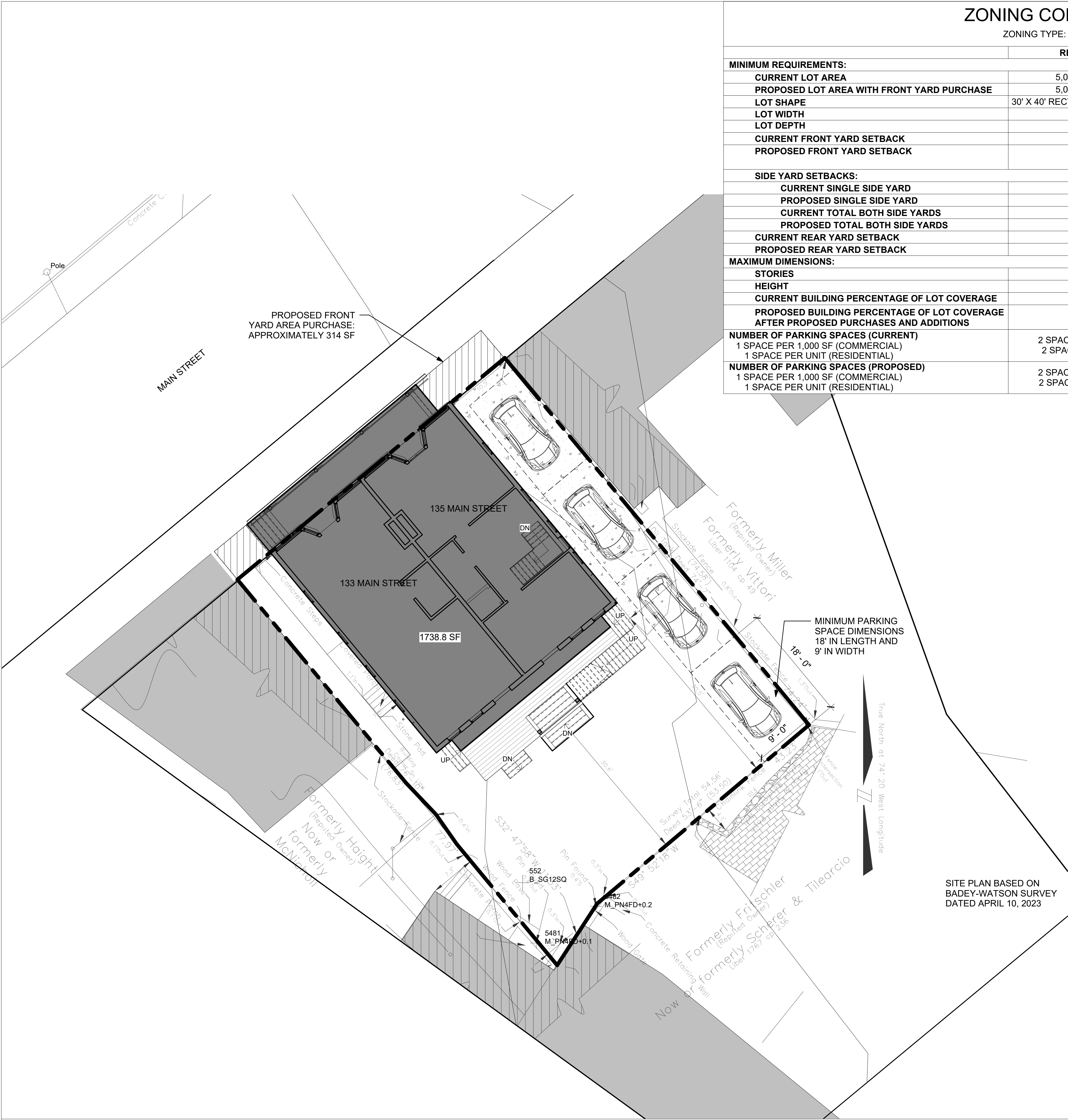
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T-100

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TRACKING NUMBER:





1 SITE PLAN  
SCALE: 1/8" = 1'-0"

ZONING CONFORMANCE CHART

ZONING TYPE: B-1 GENERAL BUSINESS

	REQUIRED	ACTUAL	CONFORMANCE
MINIMUM REQUIREMENTS:			
CURRENT LOT AREA	5,000 SQ. FT.	4,041.61 SF	EXISTING NON-CONFORMING
PROPOSED LOT AREA WITH FRONT YARD PURCHASE	5,000 SQ. FT.	4,356.5 SF	NON-CONFORMING
LOT SHAPE	30' X 40' RECTANGLE IN 50% OF LOT		CONFORMS
LOT WIDTH	40'	54.03'	CONFORMS
LOT DEPTH	100'	74.24'	EXISTING NON-CONFORMING
CURRENT FRONT YARD SETBACK	0'	-5.8'	EXISTING NON-CONFORMING
PROPOSED FRONT YARD SETBACK	0'	0' - 0" TO PROPOSED PORCH AFTER SIDEWALK AREA PURCHASE	CONFORMS
SIDE YARD SETBACKS:			
CURRENT SINGLE SIDE YARD	5'	6.8'	CONFORMS
PROPOSED SINGLE SIDE YARD	5'	6.5'	CONFORMS
CURRENT TOTAL BOTH SIDE YARDS	10'	17.9'	CONFORMS
PROPOSED TOTAL BOTH SIDE YARDS	10'	17'	CONFORMS
CURRENT REAR YARD SETBACK	10'	30.5'	CONFORMS
PROPOSED REAR YARD SETBACK	10'	23.6'	CONFORMS
MAXIMUM DIMENSIONS:			
STORIES	2 1/2	2	CONFORMS
HEIGHT	35'	21'-2 1/2"	CONFORMS
CURRENT BUILDING PERCENTAGE OF LOT COVERAGE	35%	38.01%	EXISTING NON-CONFORMING
PROPOSED BUILDING PERCENTAGE OF LOT COVERAGE AFTER PROPOSED PURCHASES AND ADDITIONS	35%	40%	NON-CONFORMING
NUMBER OF PARKING SPACES (CURRENT) 1 SPACE PER 1,000 SF (COMMERCIAL) 1 SPACE PER UNIT (RESIDENTIAL)	2 SPACES (COMMERCIAL) 2 SPACE (RESIDENTIAL)	4 SPACES TOTAL	CONFORMS
NUMBER OF PARKING SPACES (PROPOSED) 1 SPACE PER 1,000 SF (COMMERCIAL) 1 SPACE PER UNIT (RESIDENTIAL)	2 SPACES (COMMERCIAL) 2 SPACES (RESIDENTIAL)	4 SPACES TOTAL	CONFORMS

CODE SUMMARY

REFERENCED CODE:  
2020 BUILDING CODE OF NEW YORK STATE  
2020 NYS ENERGY CONSERVATION  
CONSTRUCTION CODE

ZONING CODE:  
VILLAGE OF COLD SPRING ZONING CODE

ZONING DISTRICT:  
B-1 : GENERAL BUSINESS

CONSTRUCTION TYPE:  
TYPE V

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA  
CLIMATE ZONE: 5  
GROUND SNOW LOAD: 30 PSF  
WIND SPEED (MPH): 115 MPH  
SEISMIC DESIGN CATEGORY: B  
FROST LINE DEPTH: 42"  
FLOOD HAZARDS: NONE



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PROPOSED SITE PLAN

DWG NO:

SITE-101

SCALE: As indicated PAGE NO: 10  
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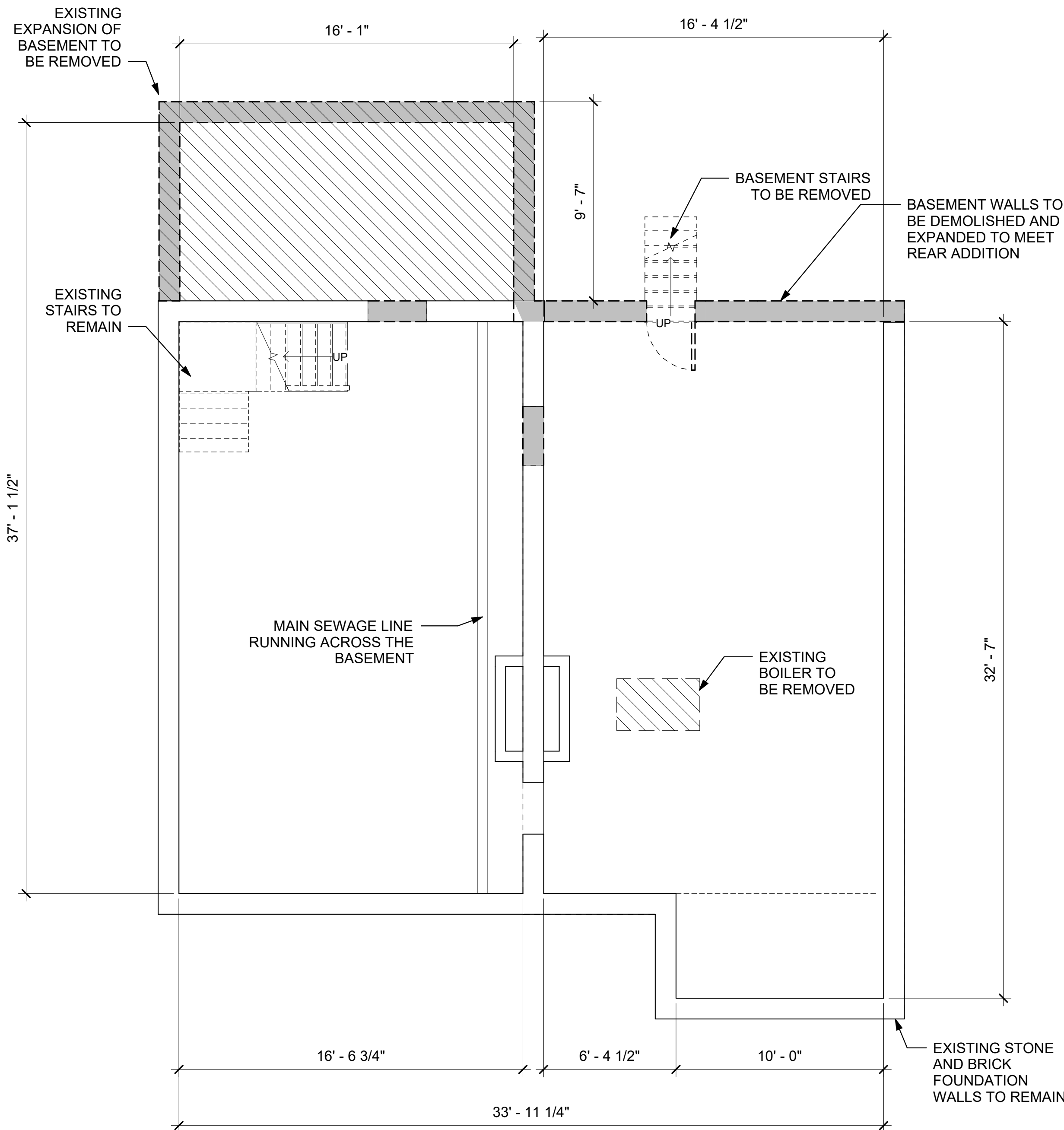
**EXISTING PLANS**

DWG NO:

**D-101**

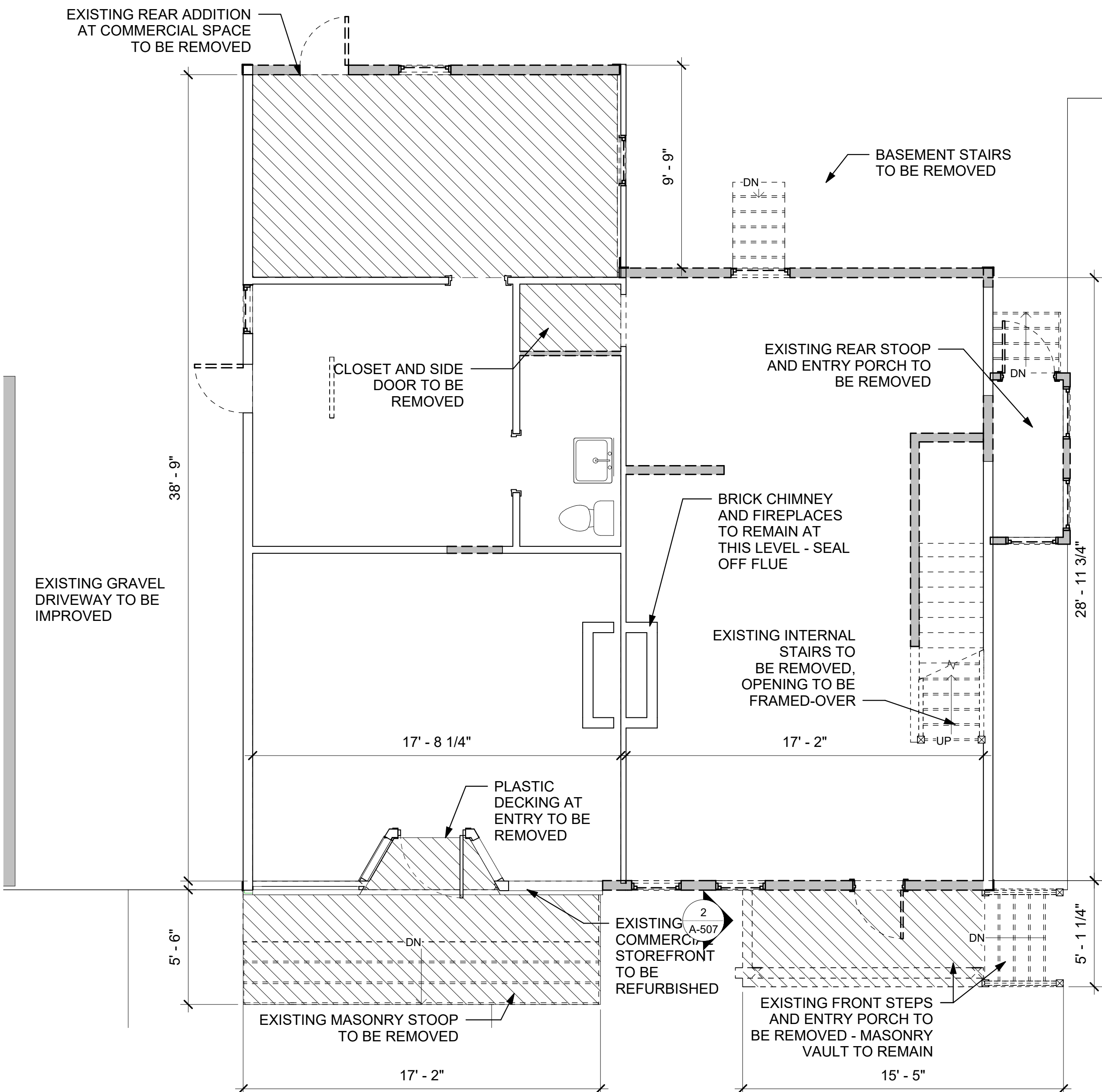
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ST\_R23\_PD.rvt

TRACKING  
NUMBER:



**1** EXISTING BASEMENT PLAN

SCALE: 1/4" = 1'-0"



**2** EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROJECT:

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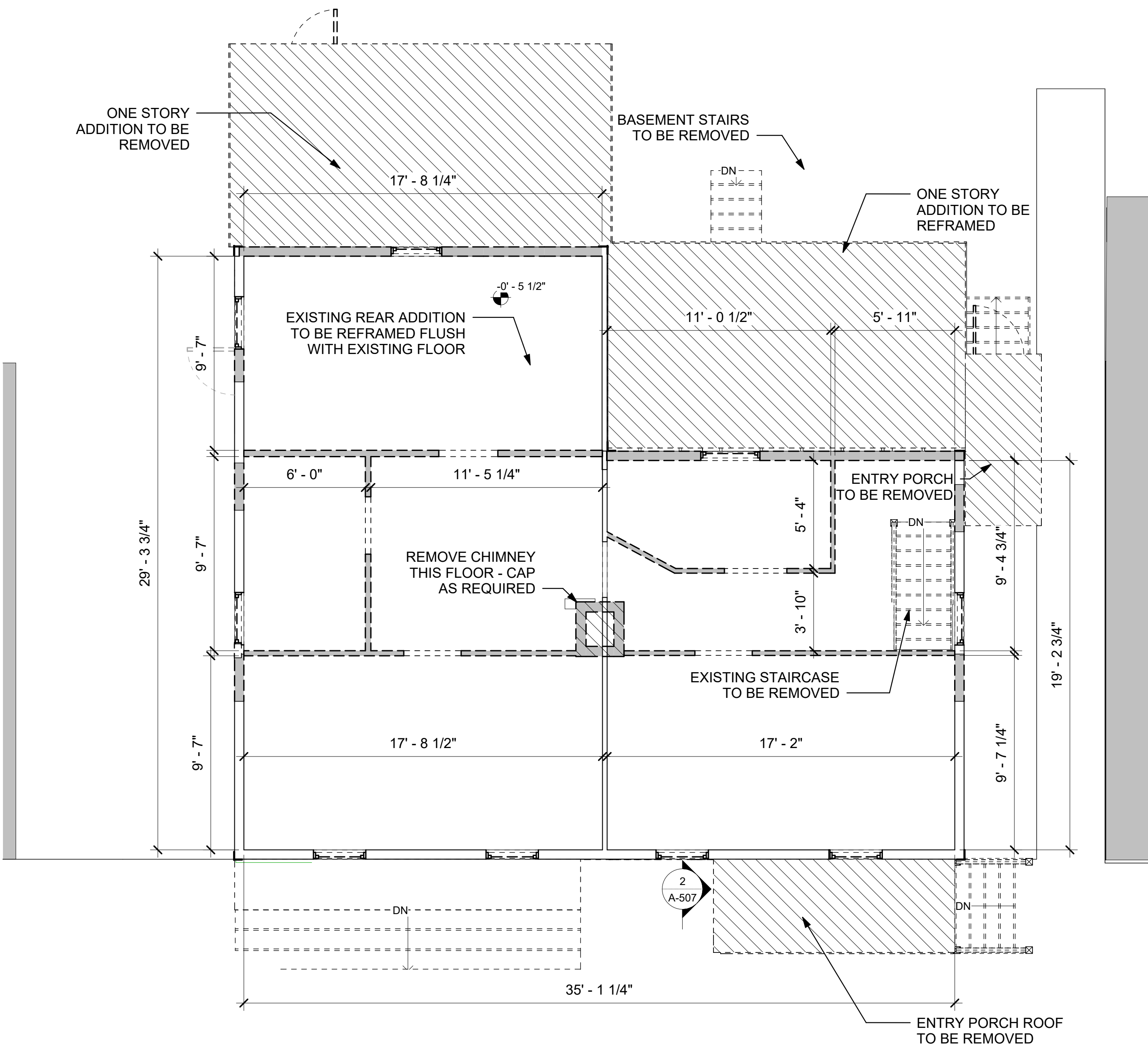
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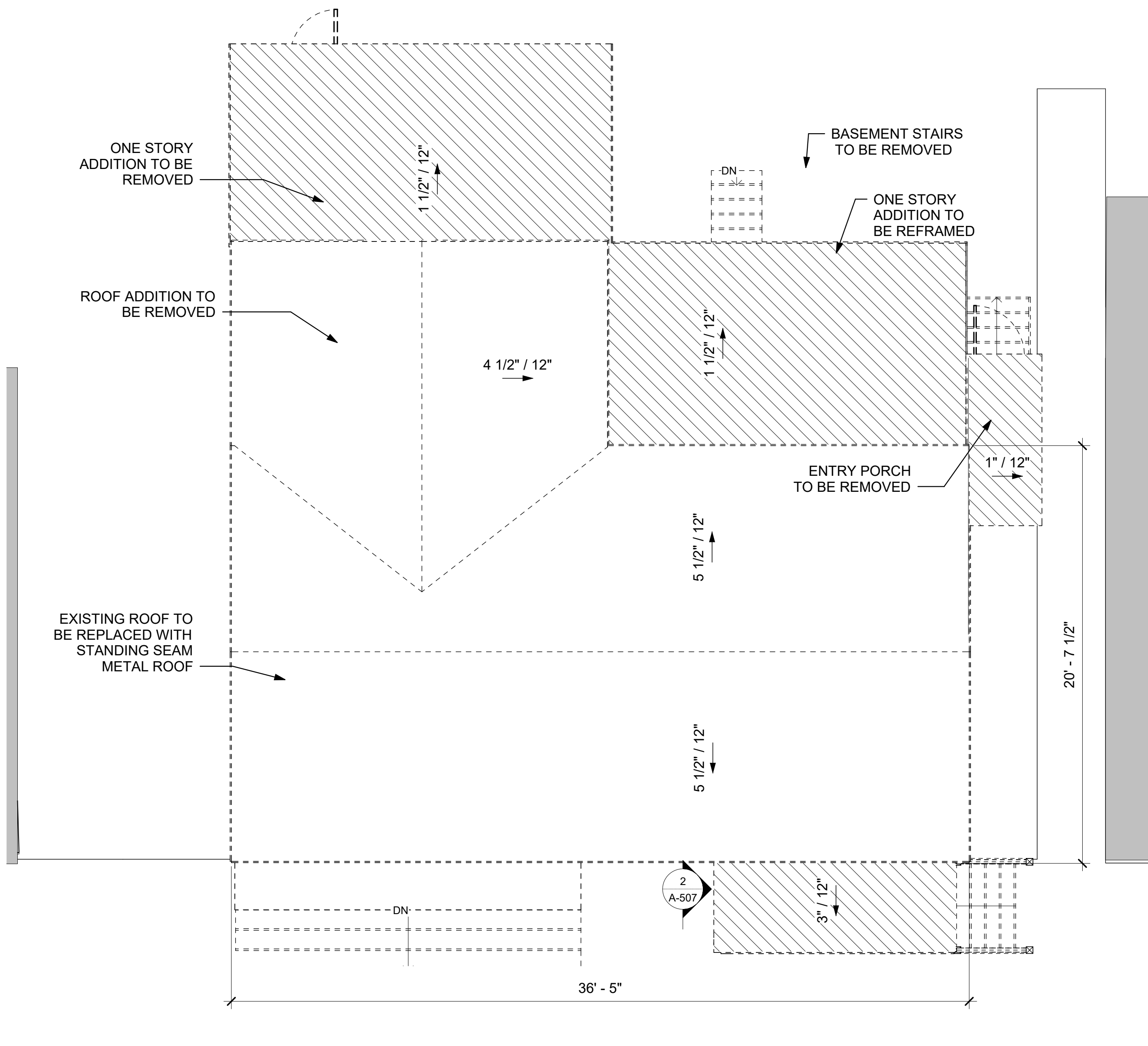
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**1 EXISTING SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 EXISTING ROOF PLAN**  
SCALE: 1/4" = 1'-0"



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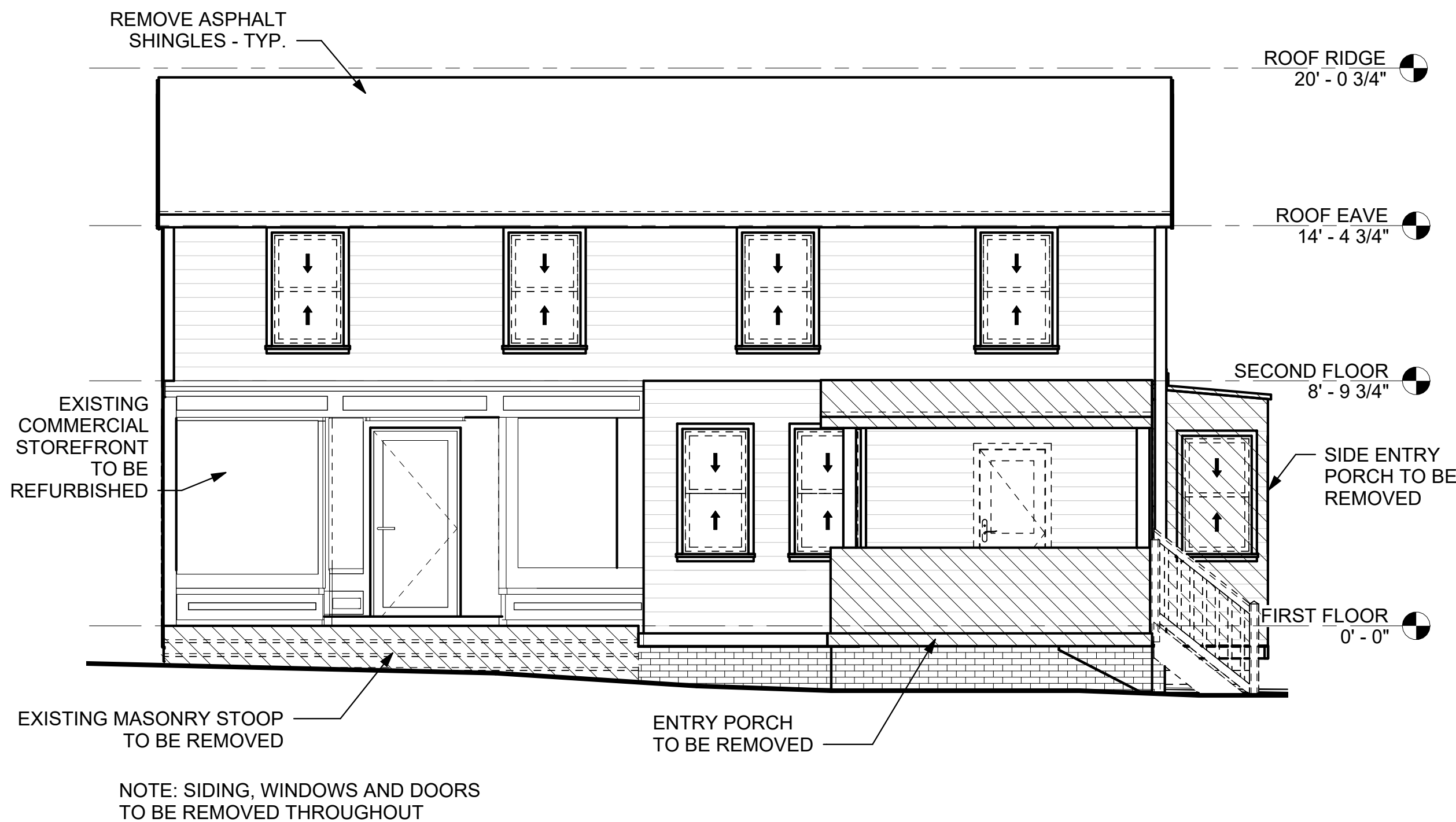
**EXISTING ELEVATIONS**

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**D-301**

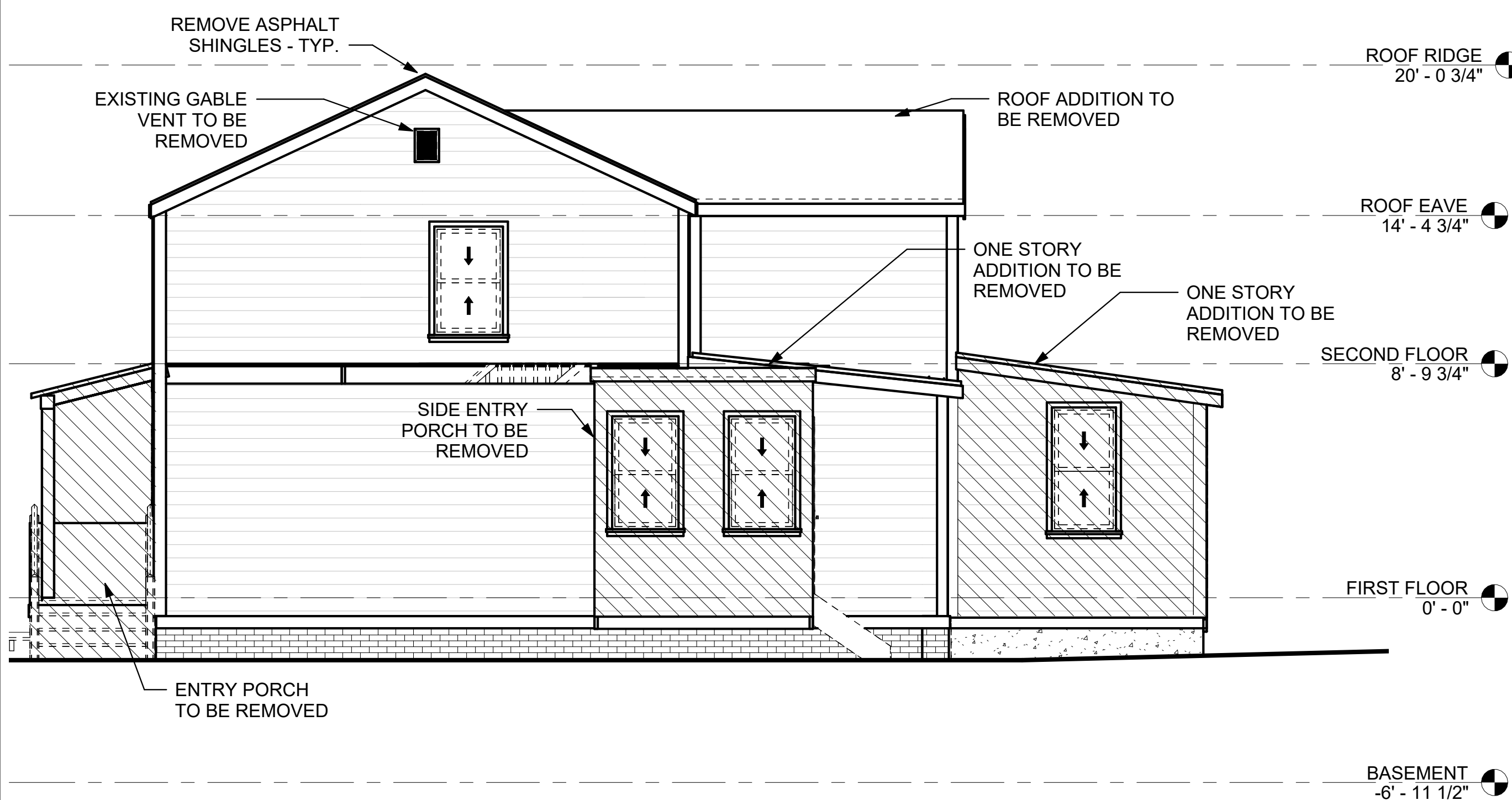
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TRACKING  
NUMBER:



### 1 WEST ELEVATION

SCALE: 1/4" = 1'-0"



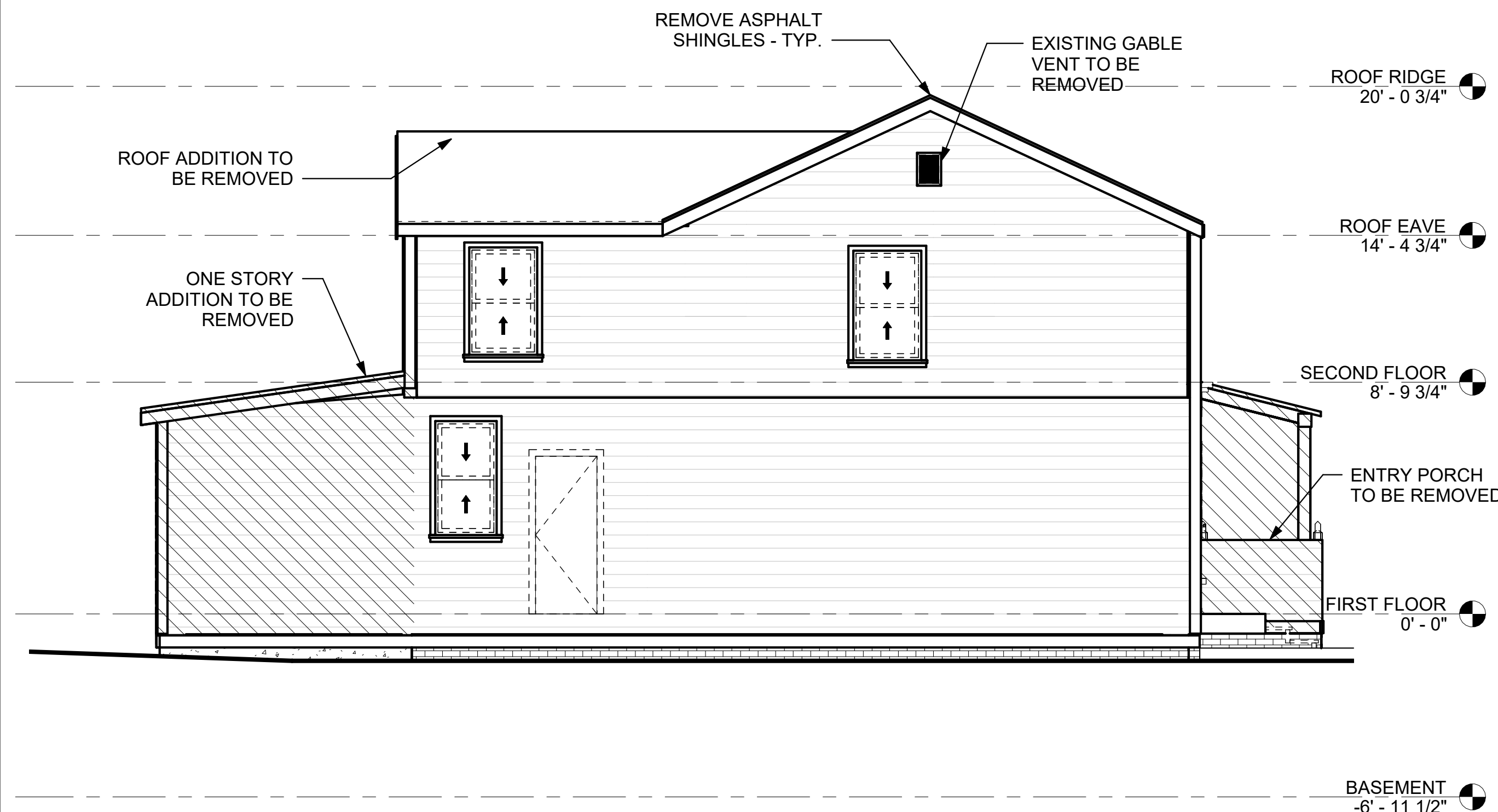
### 2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



### 3 EAST ELEVATION

SCALE: 1/4" = 1'-0"



### 4 NORTH ELEVATION

SCALE: 1/4" = 1'-0"







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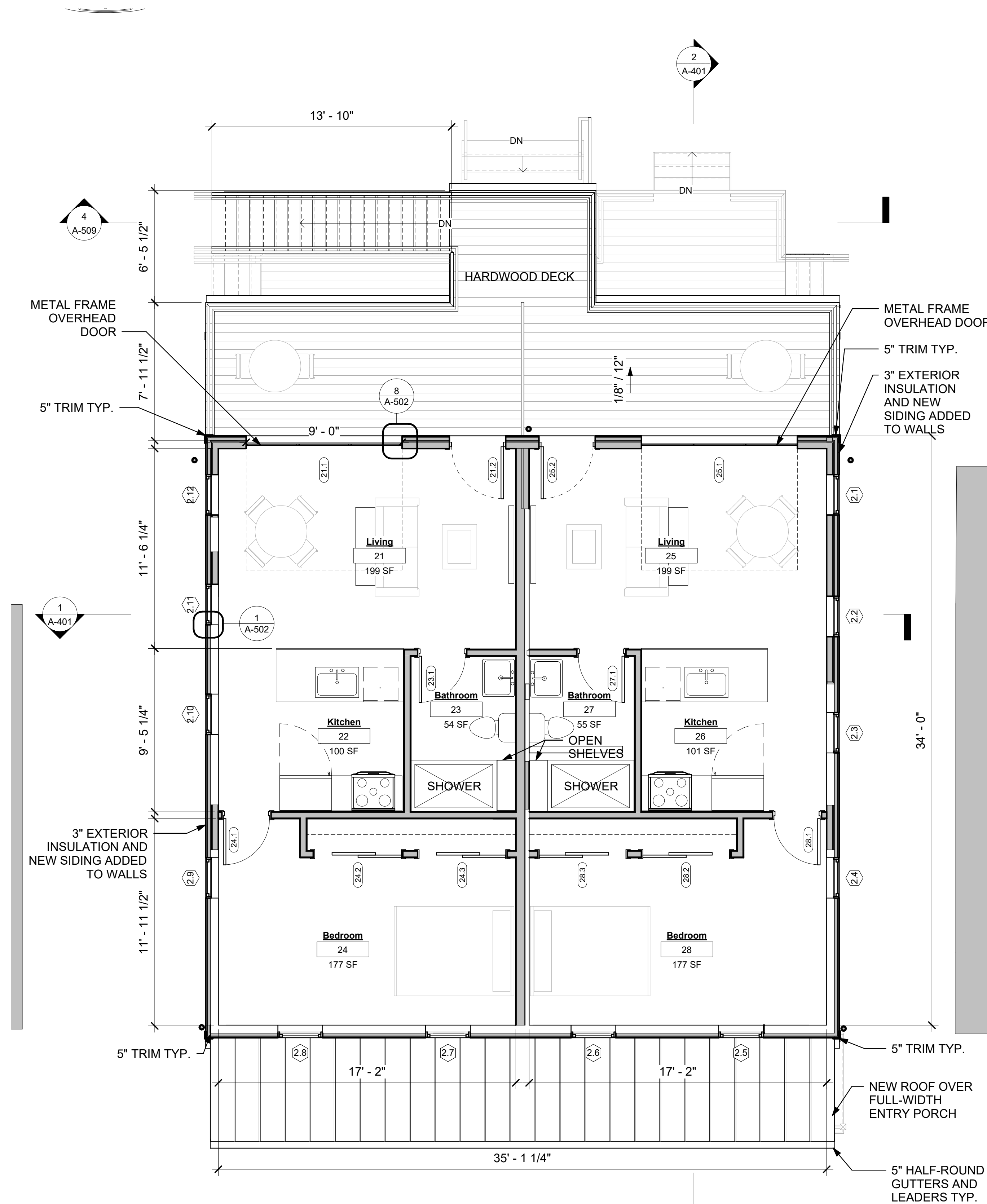
**PROPOSED FLOOR PLANS**

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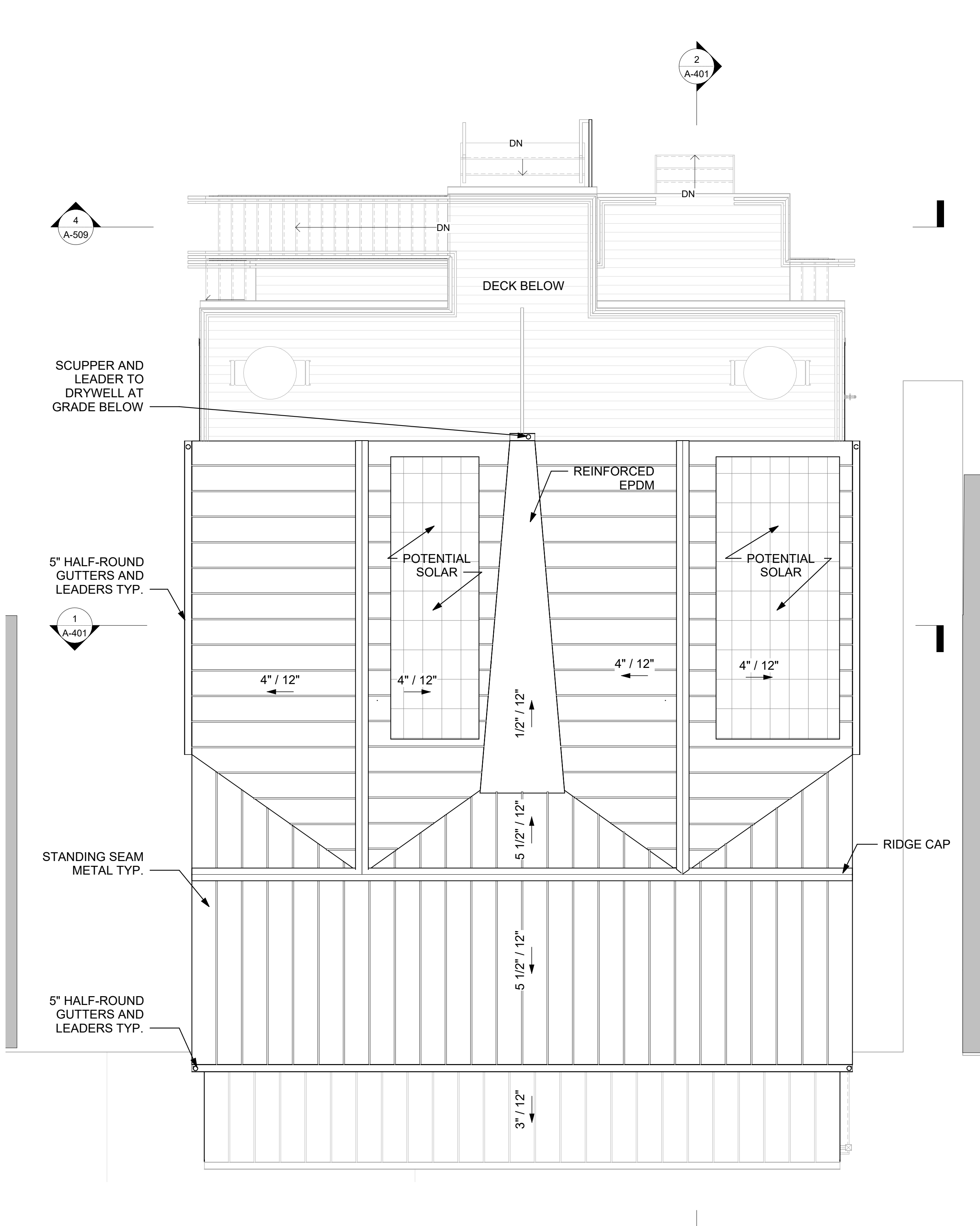
**A-102**

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NUMBER:



**1 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



PROJECT:

## 133-135 MAIN STREET

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COLD SPRING, NY 10516

TAX ID: 48.8-6-43

SEAL:

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ISSUED FOR:

**MUNICIPAL REVIEW**

ISSUE DATE: 11/27/2023

REV. DES. DATE

DWG TITLE:

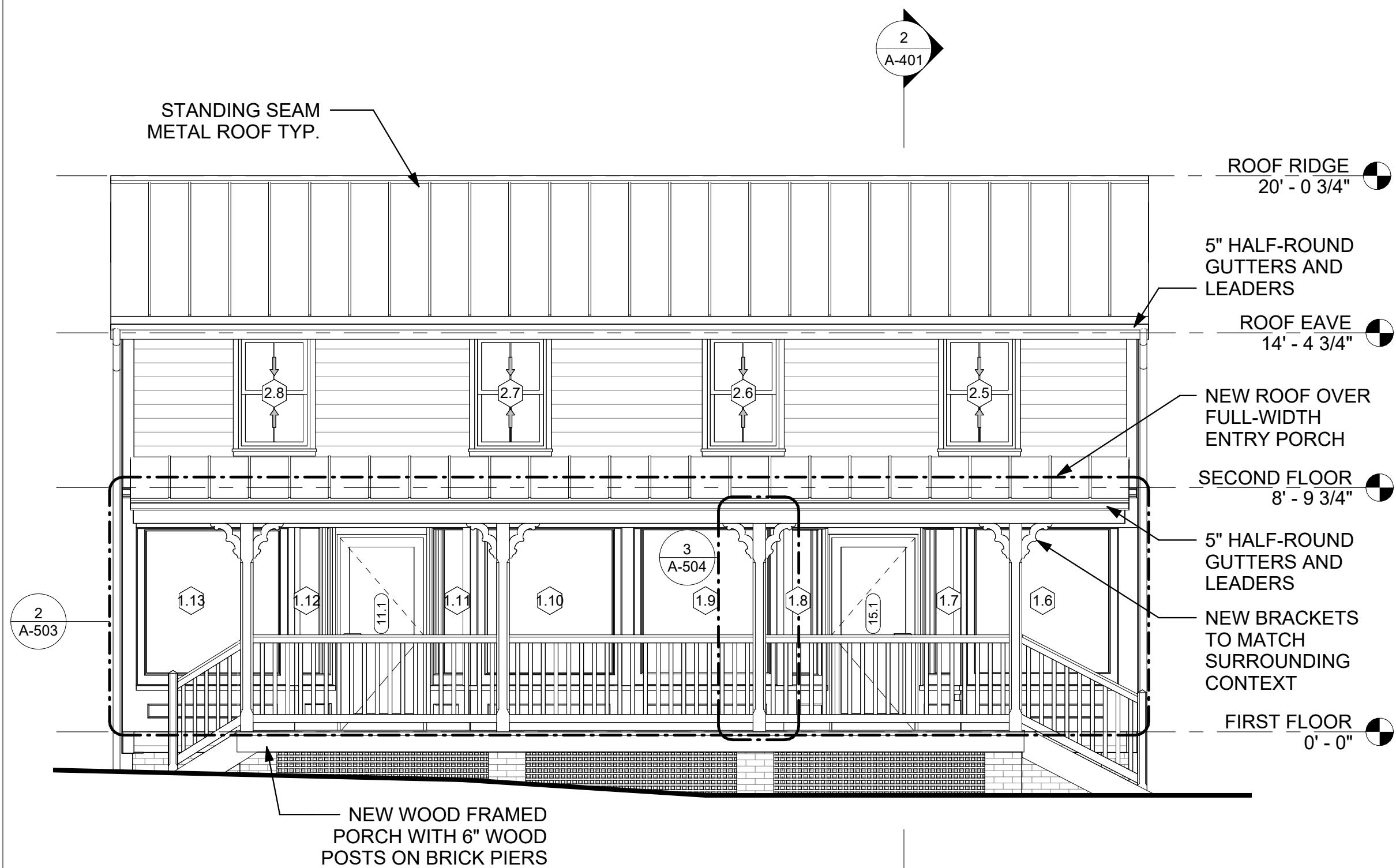
**PROPOSED ELEVATIONS**

DWG NO:

**A-301**

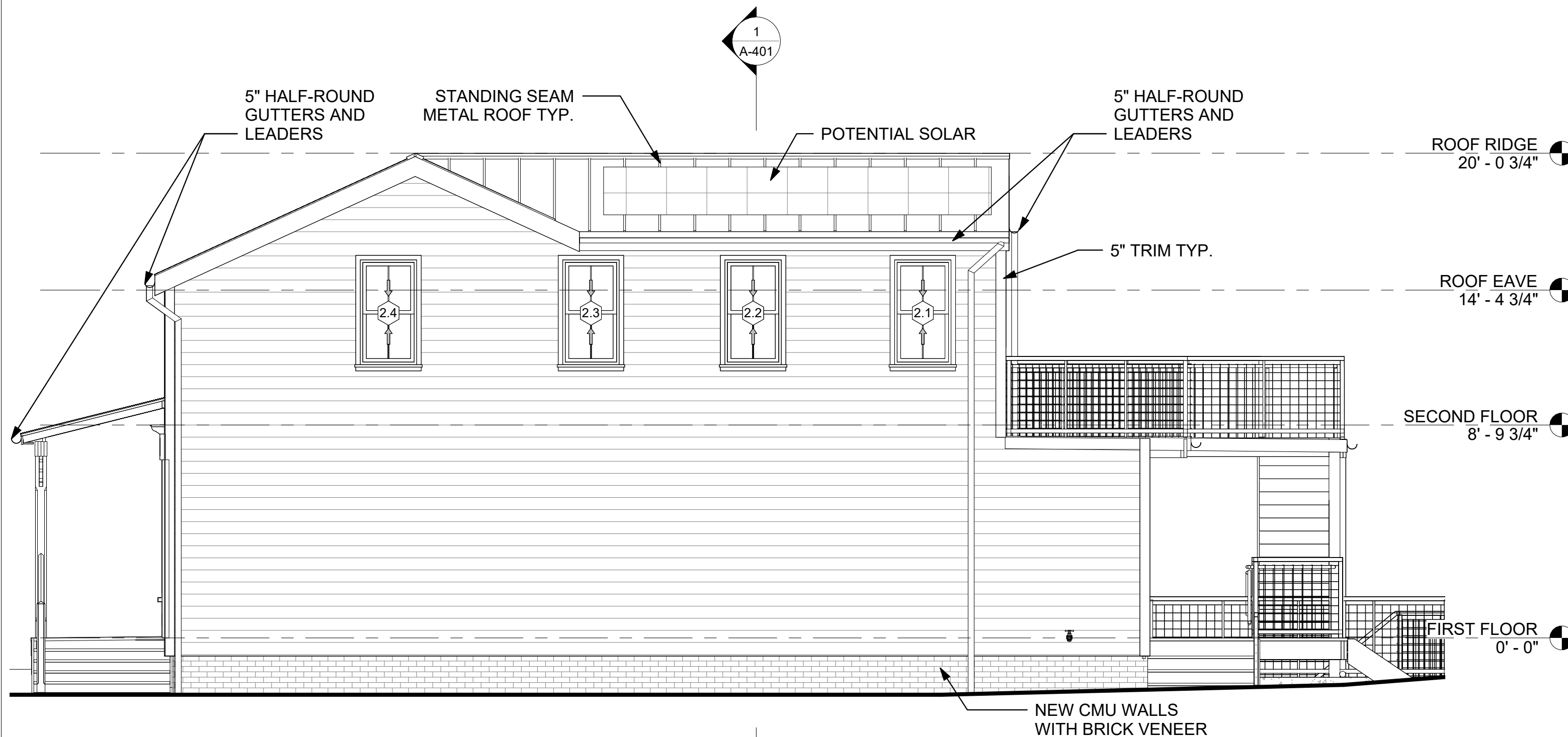
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JOB 00000 PLOT'D: of 10  
FILE PATH: Autodesok Docs://133-135 Main St/133-135 Main  
ST\_R23\_PD.rvt

TRACKING  
NUMBER:



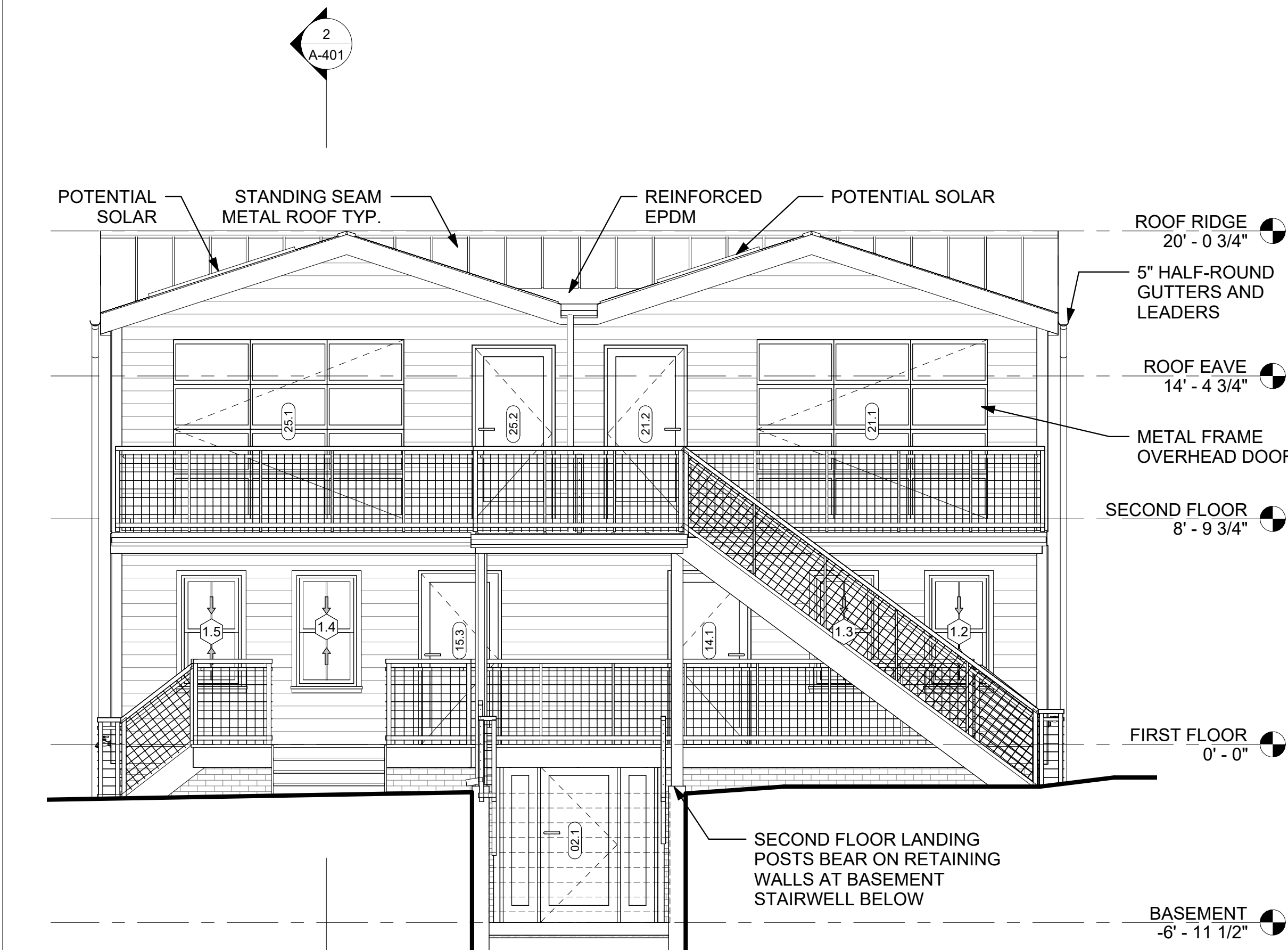
### 1 WEST ELEVATION

SCALE: 1/4" = 1'-0"



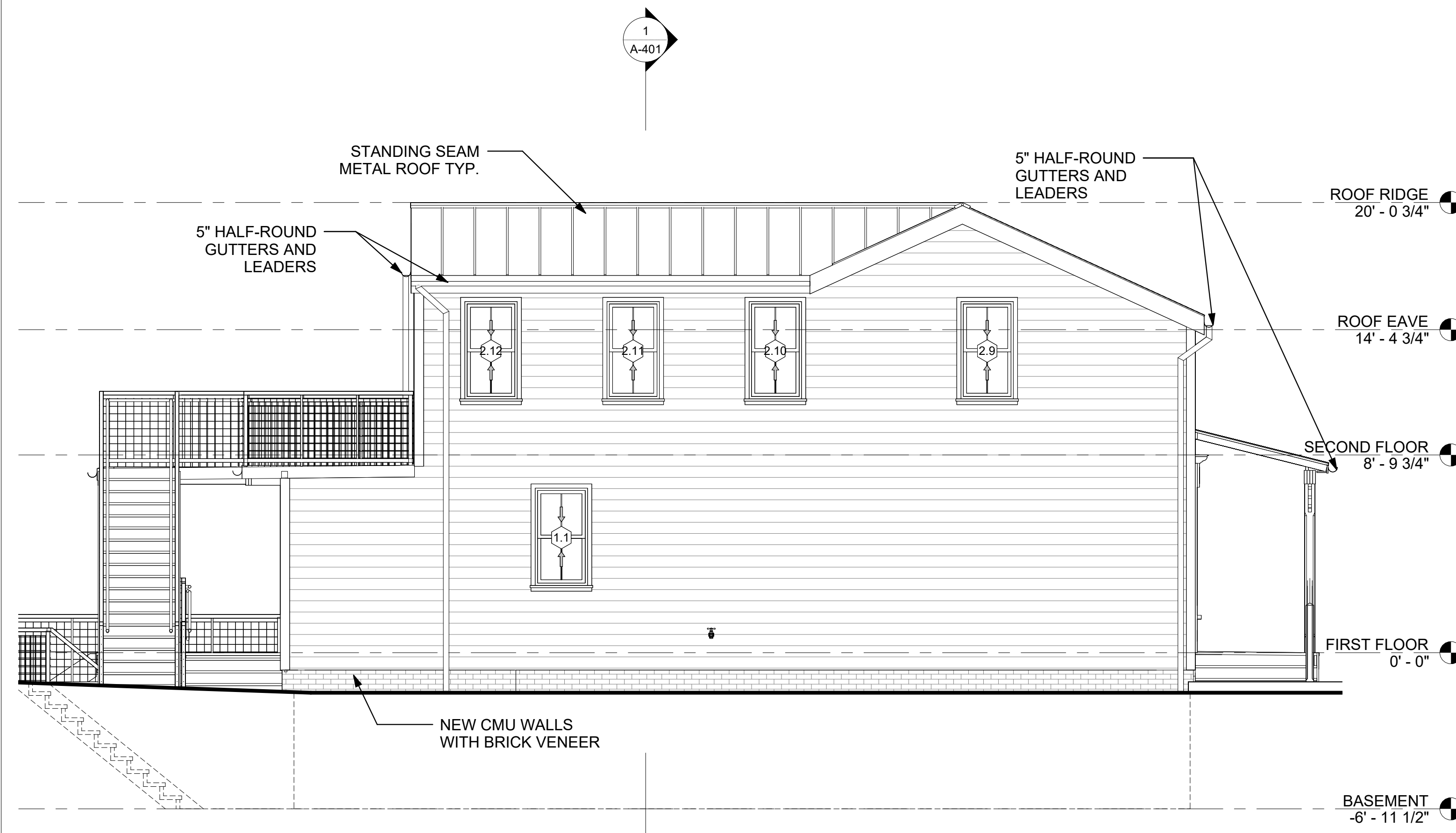
### 2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



### 3 EAST ELEVATION

SCALE: 1/4" = 1'-0"



### 4 NORTH ELEVATION

SCALE: 1/4" = 1'-0"