



ISSUED FOR: MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023

River
ARCHITECTS

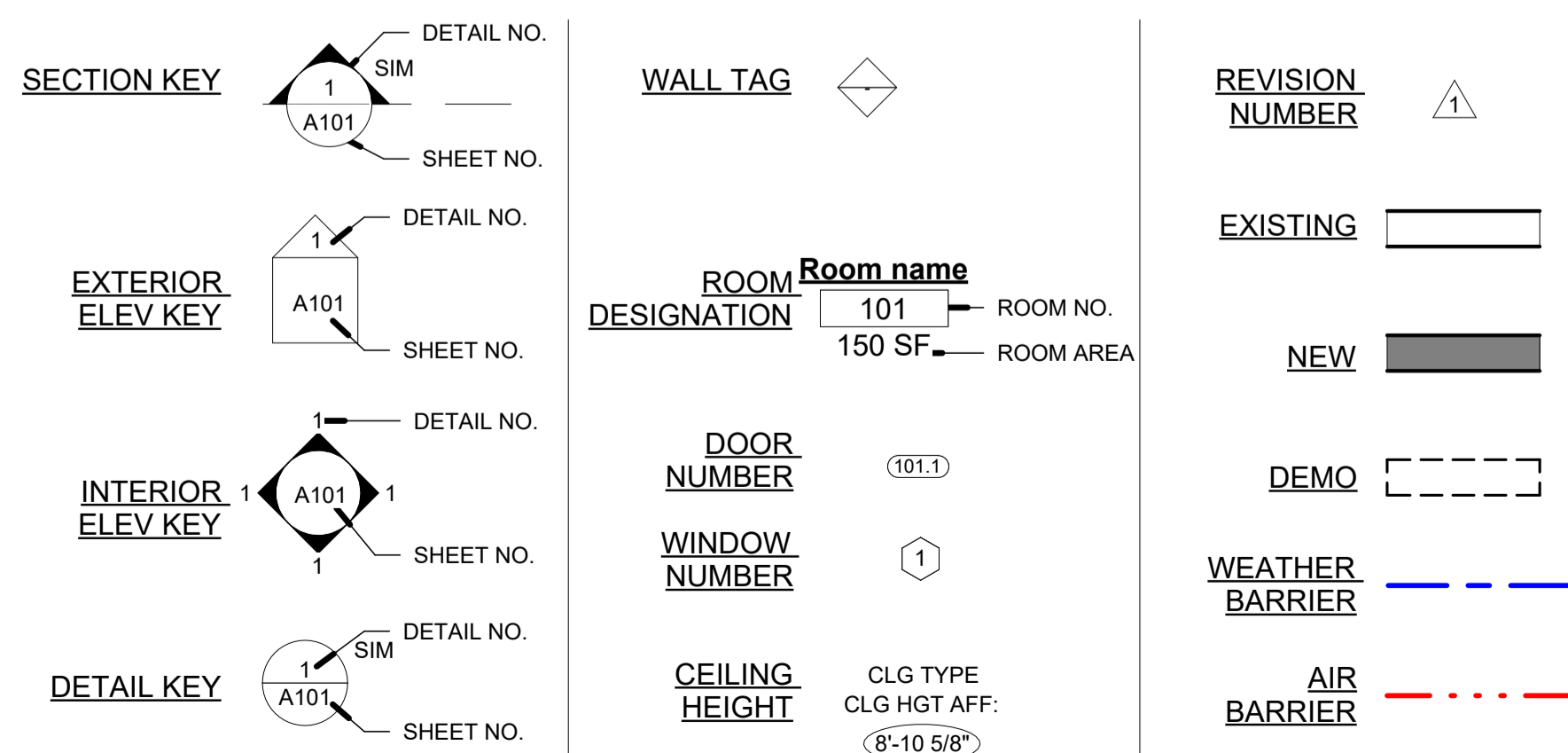
133-135 MAIN STREET

133-135 MAIN STREET
COLD SPRING, NY 10516

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LATEST AND PERTINENT APPLICABLE CODES AND ZONING REGULATIONS. SHOULD ANYTHING CONTAINED IN THE CONTRACT DOCUMENTS BE IN CONFLICT WITH SAID CODES, CONTRACTORS SHALL IMMEDIATELY INFORM THE ARCHITECT.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS IN THESE DOCUMENTS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE WORK AND THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THE DRAWINGS.
- WITH THE EXCEPTION OF THOSE NOTED AS "OWNER SUPPLIED" ITEMS, CONTRACTORS SHALL PROVIDE ALL ITEMS AND LABOR NECESSARY FOR THE COMPLETION OF THE WORK SHOWN ON THE CONTRACT DOCUMENTS WHETHER THOSE ITEMS ARE EXPRESSLY SPECIFIED OR NOT, INCLUDING, BUT NOT LIMITED TO TAX, PURCHASE, DELIVERY ARRANGEMENTS AND STORAGE.
- GC SHALL OBTAIN ALL NECESSARY SUBMITTALS AND SHOP DRAWINGS. GC SHALL REVIEW THEM FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS AND SITE CONDITIONS. GC SHALL THEN FORWARD THE SUBMITTALS AND SHOP DRAWINGS TO THE ARCHITECT FOR PROPER DISTRIBUTION AMONG THE DESIGN TEAM FOR THEIR COMMENTS AND/OR APPROVAL FOR COMPLIANCE WITH DESIGN INTENT. GC MUST ALLOW ADEQUATE TIME FOR DISTRIBUTION, REVIEW AND RETURN OF THESE ITEMS.
- GC SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR SUBMITTAL OF SAMPLES, SHOP DRAWINGS, MANUFACTURERS' LITERATURE, AND OTHER REQUIRED INFORMATION. THEY SHALL BE SUBMITTED IN SUFFICIENT TIME TO ALLOW PROPER CONSIDERATION AND ACTION BEFORE ANY MATERIALS ARE PURCHASED AND WORK IS EXECUTED.
- GC SHALL PROVIDE PROPER COORDINATION AND SUPERVISION TO COMPLETE THE WORK.
- GC SHALL COORDINATE ALL LABOR AND MATERIALS INVOLVED IN THE PROJECT AND BE RESPONSIBLE FOR SCHEDULING OF TRADES INVOLVED.
- ALL CONTRACTORS SHALL BE LICENSED AND INSURED FOR GENERAL LIABILITY, WORKERS COMP, AND PROPERTY DAMAGE AS REQUIRED BY LAW AND SHALL SUBMIT SUCH PROOF TO THE OWNER AND ARCHITECT TO AVOID ANY CLAIMS AND/OR LIENS ON THE WORK BE ASSOCIATED WITH THE OWNER AND ARCHITECT.
- ALL CONTRACTORS SHALL CARRY INSURANCE OF 100% OF THE VALUE OF HIS/HER WORK IN PLACE AND SHALL COMPLY WITH ANY AND ALL ADDITIONAL SUCH REQUIREMENTS.
- CERTIFICATION OF INSURANCE FOR PROPERTY DAMAGE, WORKMAN'S COMPENSATION, DISABILITY, & LIABILITY TO BE FILED WITH THE BUILDING OWNER AND ARCHITECT LISTING EACH AS CO-INSURED.
- NO EXTRA WORK SHALL BE PERFORMED NOR ADDITIONAL CHARGES BE MADE UNLESS AUTHORIZATION IS OBTAINED IN WRITING FROM THE OWNER AND ARCHITECT PRIOR TO SUCH WORK.
- GC SHALL MAINTAIN CONTINUOUS AND ADEQUATE PROTECTION OF ALL EXISTING CONDITIONS AND NEW CONSTRUCTION, AND SHALL REPAIR OR REPLACE ANY WORK, NEW OR EXISTING, WHICH IS DAMAGED.
- GC SHALL KEEP JOB SITE FREE OF DEBRIS AND HAZARDOUS CONDITIONS AND BE RESPONSIBLE FOR THE LEGAL REMOVAL OF ALL EQUIPMENT AND DEBRIS ON DAILY BASIS AND PRIOR TO RECEIPT OF PAYMENT. NO DEBRIS IS TO BE LEFT IN THE BUILDING, UNSECURED OUTDOORS, OR ON THE STREET. ALL WORK PROCEDURES AND METHODS SHALL COMPLY WITH OSHA AND OTHER APPLICABLE REGULATIONS.
- GC SHALL THOROUGHLY EXAMINE ALL CONTRACT DOCUMENTS AND IMMEDIATELY ADVISE THE ARCHITECT OF ANY ERRORS, CONFLICTS, OR DISCREPANCIES IN THE DOCUMENTS IN WRITING. ARCHITECT WILL NOT BE LIABLE FOR ASSUMPTIONS MADE BY THE CONTRACTOR.
- GC SHALL COORDINATE WITH CLIENT REGARDING STORING MATERIALS AT THE SITE.
- ALL WORK SHALL BE DONE IN A WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
- GC TO ENSURE ADEQUATE CLEARANCE FOR MOVING ALL MATERIALS, ASSEMBLIES AND EQUIPMENT ONTO AND OFF THE SITE AS REQUIRED.
- GC SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ANY NECESSARY DRAWINGS, ARRANGE FOR ALL INSPECTIONS, OBTAIN ALL PERMITS AND CERTIFICATES OF APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THIS CONTRACT. HE SHALL COMPLY WITH ALL LOCAL LAWS, ORDINANCES, RULES AND REGULATIONS AND WITH THE LATEST PERTINENT CODES AND THE DIRECTION OF THE DESIGNATED BUILDING INSPECTOR.
- GC SHALL APPROPRIATELY COORDINATE WORK TO BE COMPLETED AND SCHEDULE ARCHITECTS' SITE OBSERVATIONS.
- GC SHALL COORDINATE AND COMPLY WITH BUILDING OWNER SCHEDULING REQUIREMENTS AND COMMUNICATE WITH BUILDING OWNER.
- UNLESS OTHERWISE NOTED - ALL NOTES APPLY TO BOTH THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS AS WELL AS ANY WORKERS AND TRADES EMPLOYED BY THE OWNER UNDER OTHER AGREEMENTS.
- GC TO SCHEDULE ANY NECESSARY INTERRUPTIONS OF UTILITIES WITH OWNER. COMPLETE WORK QUICKLY TO MINIMIZE SERVICE INTERRUPTIONS.
- ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS. REPAIR OF COMPLETED WORK DAMAGED IN THE COURSE OF THE PROJECT WILL BE THE CONTRACTOR'S RESPONSIBILITY AT NO COST TO THE OWNER.
- ALL PRECAUTIONS TO BE OBSERVED IN THE BUILDING TO MAINTAIN FIRE SAFETY DURING CONSTRUCTION. KEEP HALLWAYS AND OTHER MEANS OF EGRESS CLEAR AT ALL TIMES.
- THE STRUCTURAL INTEGRITY OF THE BUILDING SHALL BE PROTECTED AT ALL TIMES AND NOT BE DISTURBED.
- FLOORS SHALL NOT BE OVERLOADED WITH CONSTRUCTION MATERIAL BEYOND THAT PERMITTED. THERE SHALL BE NO ONE OCCUPYING THE AREA OF WORK OR RENOVATION DURING THE COURSE OF CONSTRUCTION.
- THE WORK SHALL BE PERFORMED DURING PERMITTED WORKING HOURS AS PERSCRIBED BY THE BUILDING DEPARTMENT OF LOCAL JURISDICTION.
- ALL BUILDING AREAS ARE TO BE BROOM SWEEPED AT THE END OF EACH WORKING DAY BEFORE THE AUTHORIZED CONTRACTORS LEAVE. THE PREMISES ARE TO BE KEPT CLEAN DURING ALL TIMES CONSTRUCTION IS UNDERWAY.
- PLASTIC, PAPER AND/OR TAPE MUST BE INSTALLED OVER AND AROUND ALL DOORWAYS AND WINDOWS LEADING TO THE FINISHED AREAS OF THE BUILDING. ALL PROTECTIVE MEASURES WILL BE INSPECTED BY THE BUILDING OWNER AND MUST MEET HIS APPROVAL. DUST AND LOOSE DEBRIS MUST BE KEPT TO AN ABSOLUTE MINIMUM IN ALL AREAS.
- PLUMBING AND ELECTRICAL WORK SHOULD BE PERFORMED BY LICENSED CONTRACTORS. PROVIDE ALL REQUIRED PERMITS, INSURANCE, WORKMANS COMP. AND CERTIFICATIONS.

DRAWING LEGEND



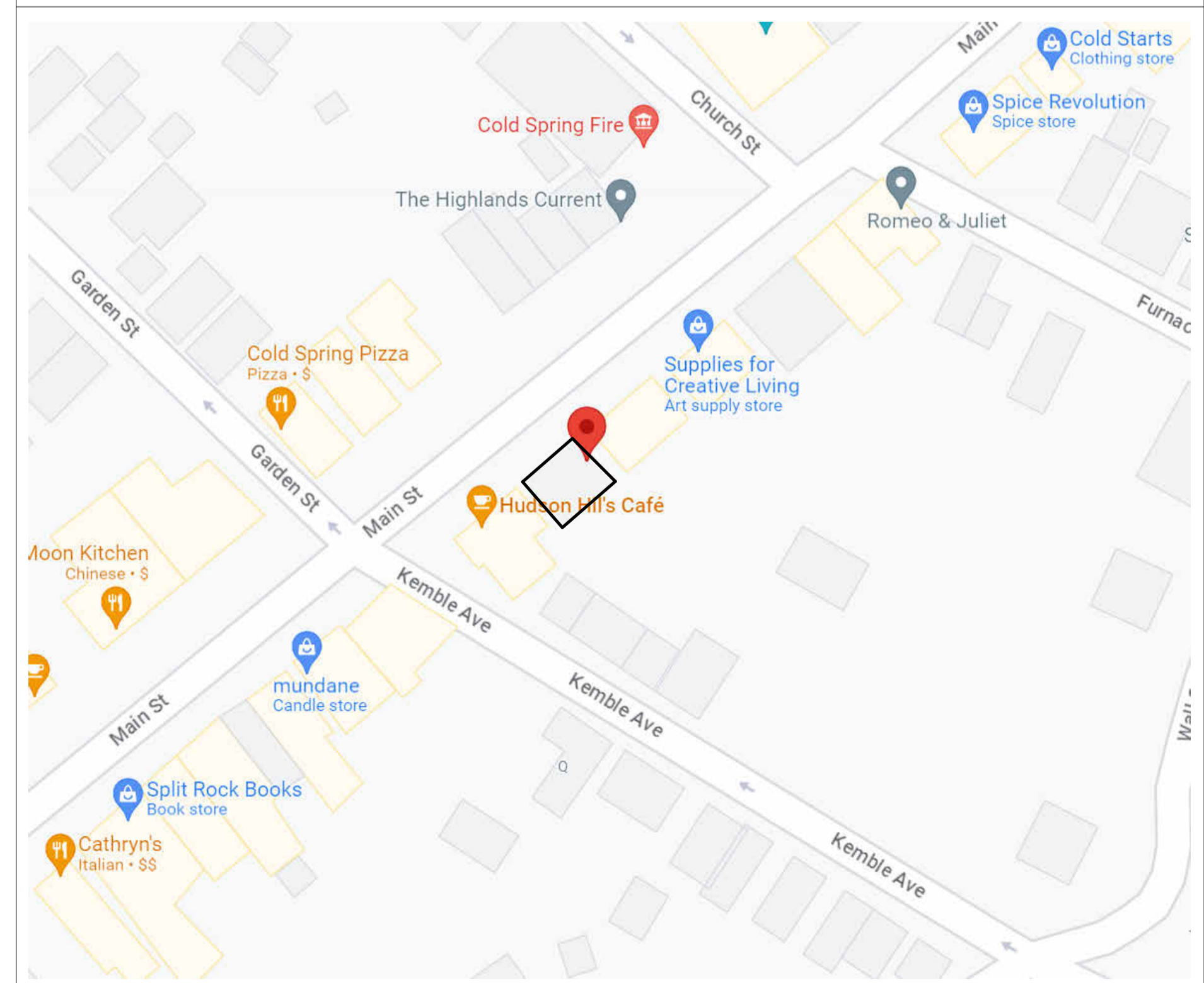
ABBREVIATIONS

A/C	AIR CONDITIONING	GR	GRADE	STD	STANDARD
AB	AIR BARRIER	GWB	GYPSUM WALLBOARD	STOR	STORAGE
AC	ACOUSTICAL	HDW	HARDWARE	STRUCT	STRUCTURAL
ACT	ACOUSTICAL TILE	HM	HOLLOW METAL	SURF	SURFACE
ADD	ADDENDUM	HORIZ	HORIZONTAL	SUSP	SUSPENDED
ADH	ADHESIVE	HSS	HOLLOW STEEL SECTION	SYM	SYMMETRICAL
ADJ	ADJACENT	HT	HEIGHT	TEL	TELEPHONE
ADJT	ADJUSTABLE	HVAC	HEATING / VENTILATING / AIR CONDITIONING	THK	THICK(NESS)
AFF	ABOVE FINISHED FLOOR	HW	HOT WATER	TO	TOP OF
AL	ALUMINUM	ID	INSIDE DIAMETER	TRANSF	TRANSFORMER
ALT	ALTERNATE	IN	INCH	TYP	TYPICAL
AP	ACCESS PANEL	INCL	INCLUDING	UON	UNLESS OTHERWISE NOTED
APPROX	APPROXIMATELY	INSUL	INSULATING / INSULATION	VB	VAPOR BARRIER
APPV/D	APPROVED	INT	INTERIOR	VCT	VINYL COMPOSITE TILE
ARCH	ARCHITECTURAL	JC	JANITOR CLOSET	VENT	VENTILATION
ATT	ATTENUATION	JF	JOINT FILLER	VEST	VESTIBULE
BD	BOARD	JST	JOIST	VIF	VERIFY IN FIELD
BET	BETWEEN	JT	JOINT	VIN	VINYL
BLDG	BUILDING	KPL	KICK PLATE	W/O	WITHOUT
BLK	BLOCK	LAM	LAMINATE	WC	WATER CLOSET
BLKG	BLOCKING	LH	LEFT-HAND	WD	WOOD
BM	BEAM	LT	LIGHT	WH	WALL HUNG
BOTT	BOTTOM	LTG	LIGHTING	WP	WATERPROOF
CAB	CABINET	MAS	MASONRY	WRB	WEATHER RESISTIVE BARRIER
CEM	CEMENT	MAT	MATERIAL	WSCT	WAINSCOT
CER	CERAMIC	MAX	MAXIMUM		
CK	CAULK	MDF	MEDIUM DENSITY FIBER		
CL	CLOSET	MECH	MECHANICAL		
CLG	CEILING	MFR	MANUFACTURER		
CLR	CLEAR	MIN	MINIMUM		
CMU	CONCRETE MASONRY UNIT	MIR	MIRROR		
COL	COLUMN	MISC	MISCELLANEOUS		
CONC	CONCRETE	ML	METAL LATH		
CONST	CONSTRUCTION	MO	MASONRY OPENING		
CONT	CONTINUOUS	MTG	MOUNTING		
CONTR	CONTRACTOR	MTL	METAL		
COR	CORRIDOR	MULL	MULLION		
CPT	CARPET	MWA	MILLWORK		
CS	COUNTER SUNK	N/A	NOT APPLICABLE		
CT	CERAMIC TILE	NIC	NOT IN CONTRACT		
CW	COLD WATER	NO	NUMBER		
D	DRAIN	NOM	NOMINAL		
DEMO	DEMOLISH	NTS	NOT TO SCALE		
DF	DRINKING FOUNTAIN	OA	OVERALL		
DIA	DIAMETER	OC	ON CENTER		
DIF	DIFFUSER	OD	OUTSIDE DIAMETER		
DIM	DIMENSION	OH	OVERHEAD		
DISTR	DISTRIBUTION	OP	OPERABLE		
DN	DOWN	OPNG	OPENING		
DPR	DISPENSER	OPP	OPOSITE		
DR	DOOR	PBD	PARTICLE BOARD		
DS	DOWNSPOUT	PLAM	PLASTIC LAMINATE		
DT	DRAIN TILE	PLBG	PLUMBING		
DTL	DETAIL	PLR	PLASTER		
DWG	DRAWING	PNL	PANEL		
DWL	DOWEL	PNT	PAINT		
EA	EACH	PSL	POLY STRAND LUMBER		
EL	ELEVATION	PT	PRESSURE TREATED		
ELEC	ELECTRIC	PTD	PAINTED		
EMERG	EMERGENCY	PTN	PARTITION		
ENCL	ENCLOSURE	PVC	POLYVINYL CHLORIDE		
EQUIP	EQUIPMENT	PWD	PLYWOOD		
ERV	ENTHALPY RECOVERY VENTILATOR	RA	RETURN AIR		
EXH	EXHAUSE	RCP	REFLECTED CEILING PLAN		
EXP	EXPOSED	RECPT	RECEPTACLE		
EXT	EXTERIOR	REF	REFERENCE		
EXTG	EXISTING	REFR	REFRIGERATOR		
FAI	FRESH AIR INTAKE	RELOC	RELOCATE		
FD	FLOOR DRAIN	REQ'D	REQUIRED		
FIN	FINISH	RES	RESILIENT		
FLR	FLOOR	RH	RIGHT-HAND		
FLUOR	FLUORESCENT	RM	ROOM		
FLX	FLEXIBLE	RO	ROUGH OPENING		
FP	FIREPROOF	SCHED	SCHEDULE		
FR	FRAME	SECT	SECTION		
FT	FOOT (FEET)	SHT	SHEET		
FTG	FOOTING	SIM	SIMILAR		
FUR	FURRING	SP	SPEAKER		
FXD	FIXED (INOPERABLE)	SPEC	SPECIFICATIONS(S)		
GA	GAUGE, GAGE	SQ	SQUARE		
GALV	GALVANIZED	SS	STAINLESS STEEL		
GC	GENERAL CONTRACTOR				
GEN	GENERAL				
GL	GLASS (GLAZING)				
GND	GROUND				

DRAWING LIST

TITLE	GENERAL NOTES & DRAWING LIST	ARCHITECTURAL	A-101 PROPOSED FLOOR PLANS
T-100		ARCHITECTURAL	A-102 PROPOSED FLOOR PLANS
SITE		ARCHITECTURAL	A-301 PROPOSED ELEVATIONS
SITE-101	PROPOSED SITE PLAN	ARCHITECTURAL	A-401 PROPOSED BUILDING SECTIONS
		ARCHITECTURAL	A-601 ROOF DETAILS
		ARCHITECTURAL	A-602 WINDOW AND DOOR DETAILS
DEMOLITION		ARCHITECTURAL	A-603 STOREFRONT ELEVATION AND PLAN
D-101	EXISTING PLANS	ARCHITECTURAL	A-504 STOREFRONT DETAILS
D-102	EXISTING PLANS	ARCHITECTURAL	A-505 PORCH STAIR DETAILS
D-301	EXISTING ELEVATIONS	ARCHITECTURAL	A-506 REAR DECK DETAILS
		ARCHITECTURAL	A-507 FOUNDATION DETAILS
		ARCHITECTURAL	A-508 EXTERIOR STAIR DETAILS
		ARCHITECTURAL	A-509 EXTERIOR STAIR DETAILS
		ARCHITECTURAL	A-701 EXISTING CONDITIONS
		ARCHITECTURAL	A-702 DETAIL PRECEDENTS
		ARCHITECTURAL	A-911 DOOR/WINDOW SCHEDULE
		STRUCTURAL	
		STRUCTURAL	S-101 FRAMING PLANS
		STRUCTURAL	S-102 FRAMING PLANS

SITE LOCATION MAP



178 MAIN STREET
 COLD SPRING, NY 10516
 TEL: 845 265 2254
 FAX: 845 265 2273

PROJECT:

133-135 MAIN STREET

133-135 MAIN STREET
 COLD SPRING, NY 10516

TAX ID: 48.8-6-43

SEAL:

ALL RIGHTS RESERVED
 BY RIVER ARCHITECTS © 2023

ISSUED FOR:

MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023

REV. DES. DATE

DWG TITLE:

GENERAL NOTES & DRAWING LIST

DWG NO:

T-100

SCALE: 1/4" = 1'-0" PAGE NO: of 10
 JOB 00000 PLOT'D: of 10
 FILE PATH: Autodesk Docs://133-135 Main St/133-135 Main St_R23_PD.rvt

TRACKING NUMBER:

PROJECT:

133-135 MAIN STREET

133-135 MAIN STREET
COLD SPRING, NY 10516

TAX ID: 48.8-6-43

ZONING CONFORMANCE CHART

ZONING TYPE: B-1 GENERAL BUSINESS

	REQUIRED	ACTUAL	CONFORMANCE
MINIMUM REQUIREMENTS:			
CURRENT LOT AREA	5,000 SQ. FT.	4,041.61 SF	EXISTING NON-CONFORMING
PROPOSED LOT AREA WITH FRONT YARD PURCHASE	5,000 SQ. FT.	4,356.5 SF	NON-CONFORMING
LOT SHAPE	30' X 40' RECTANGLE IN 50% OF LOT		CONFORMS
LOT WIDTH	40'	54.03'	CONFORMS
LOT DEPTH	100'	74.24'	EXISTING NON-CONFORMING
CURRENT FRONT YARD SETBACK	0'	-5.8'	EXISTING NON-CONFORMING
PROPOSED FRONT YARD SETBACK	0'	0' - 0" TO PROPOSED PORCH AFTER SIDEWALK AREA PURCHASE	CONFORMS
SIDE YARD SETBACKS:			
CURRENT SINGLE SIDE YARD	5'	6.8'	CONFORMS
PROPOSED SINGLE SIDE YARD	5'	6.5'	CONFORMS
CURRENT TOTAL BOTH SIDE YARDS	10'	17.9'	CONFORMS
PROPOSED TOTAL BOTH SIDE YARDS	10'	17'	CONFORMS
CURRENT REAR YARD SETBACK	10'	30.5'	CONFORMS
PROPOSED REAR YARD SETBACK	10'	23.6'	CONFORMS
MAXIMUM DIMENSIONS:			
STORIES	2 1/2	2	EXISTING NON-CONFORMING
HEIGHT	35'	21'-2 1/2"	CONFORMS
CURRENT BUILDING PERCENTAGE OF LOT COVERAGE	35%	32.5% (1,313 / 4041)	CONFORMS
PROPOSED BUILDING PERCENTAGE OF LOT COVERAGE AFTER PROPOSED PURCHASES AND ADDITIONS	35%	44.0% (1,778 / 4,041)	NON-CONFORMING
NUMBER OF PARKING SPACES (CURRENT)	2 SPACES (COMMERCIAL) 2 SPACES (RESIDENTIAL)	4 SPACES TOTAL	CONFORMS
NUMBER OF PARKING SPACES (PROPOSED)	2 SPACES (COMMERCIAL) 2 SPACES (RESIDENTIAL)	1 SPACES TOTAL	NON-CONFORMING

CODE SUMMARY

REFERENCED CODE:
2020 BUILDING CODE OF NEW YORK STATE
2020 NYS ENERGY CONSERVATION CONSTRUCTION CODE

ZONING CODE:
VILLAGE OF COLD SPRING ZONING CODE

ZONING DISTRICT:
B-1 : GENERAL BUSINESS

CONSTRUCTION TYPE:
TYPE V

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA
CLIMATE ZONE: 5
GROUND SNOW LOAD: 30 PSF
WIND SPEED (MPH): 115 MPH
SEISMIC DESIGN CATEGORY: B
FROST LINE DEPTH: 42"
FLOOD HAZARDS: NONE

SEAL:

ALL RIGHTS RESERVED
BY RIVER ARCHITECTS © 2023

ISSUED FOR:

MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023
REV. DES. DATE

DWG TITLE:

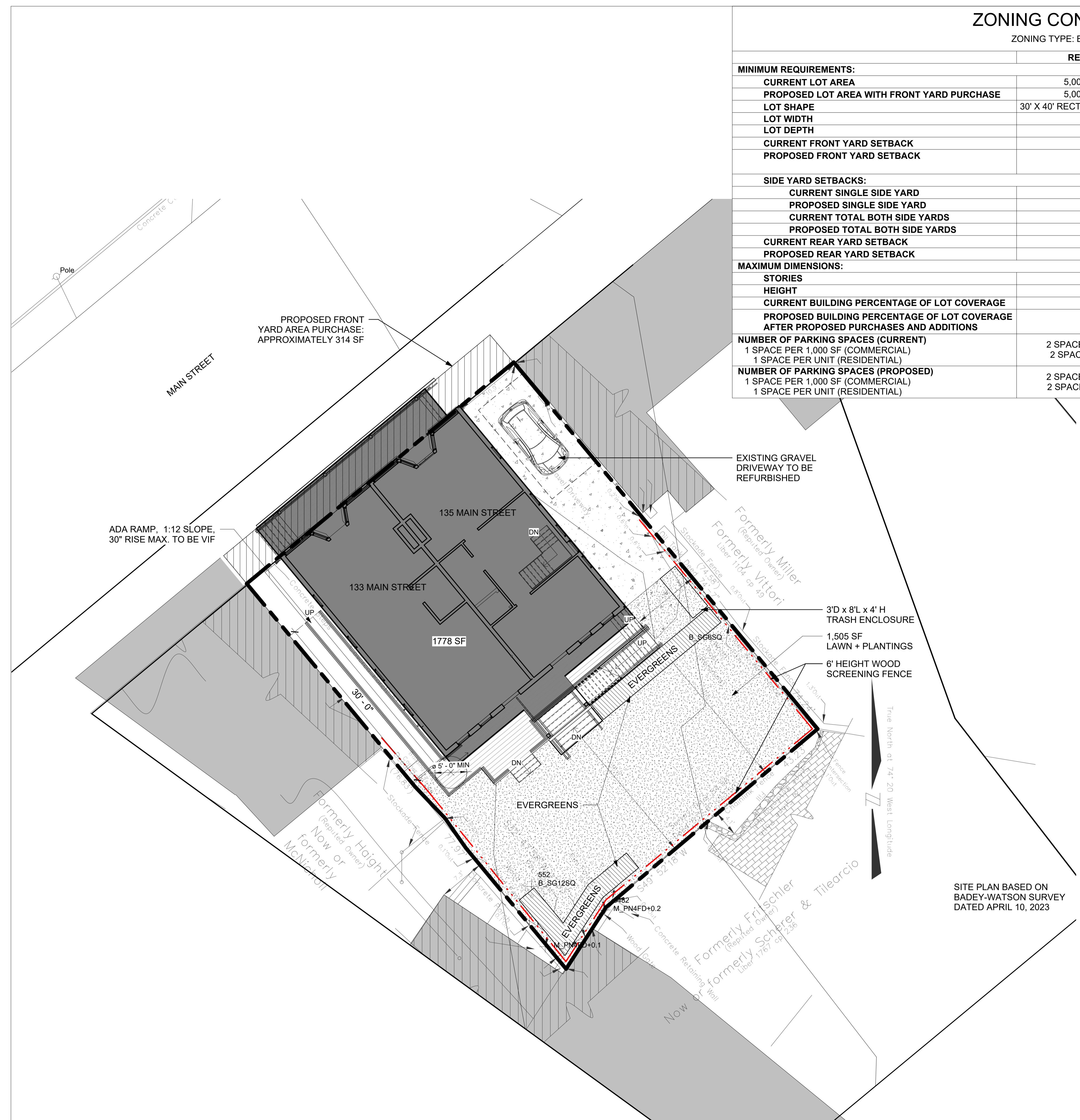
PROPOSED SITE PLAN

DWG NO:

SITE-101

SCALE: As indicated PAGE NO: of 10
JOB #: 00000 PLOTID: FILE PATH: Autodesk Docs://133-135 Main St/133-135 Main St_R23_PD.rvt

TRACKING NUMBER:



1 SITE PLAN
SCALE: 1/8" = 1'-0"

PROJECT:

133-135 MAIN STREET

133-135 MAIN STREET
COLD SPRING, NY 10516

TAX ID: 48.8-6-43

SEAL:

ALL RIGHTS RESERVED
BY RIVER ARCHITECTS © 2023

ISSUED FOR:

MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023

REV. DES. DATE

DWG TITLE:

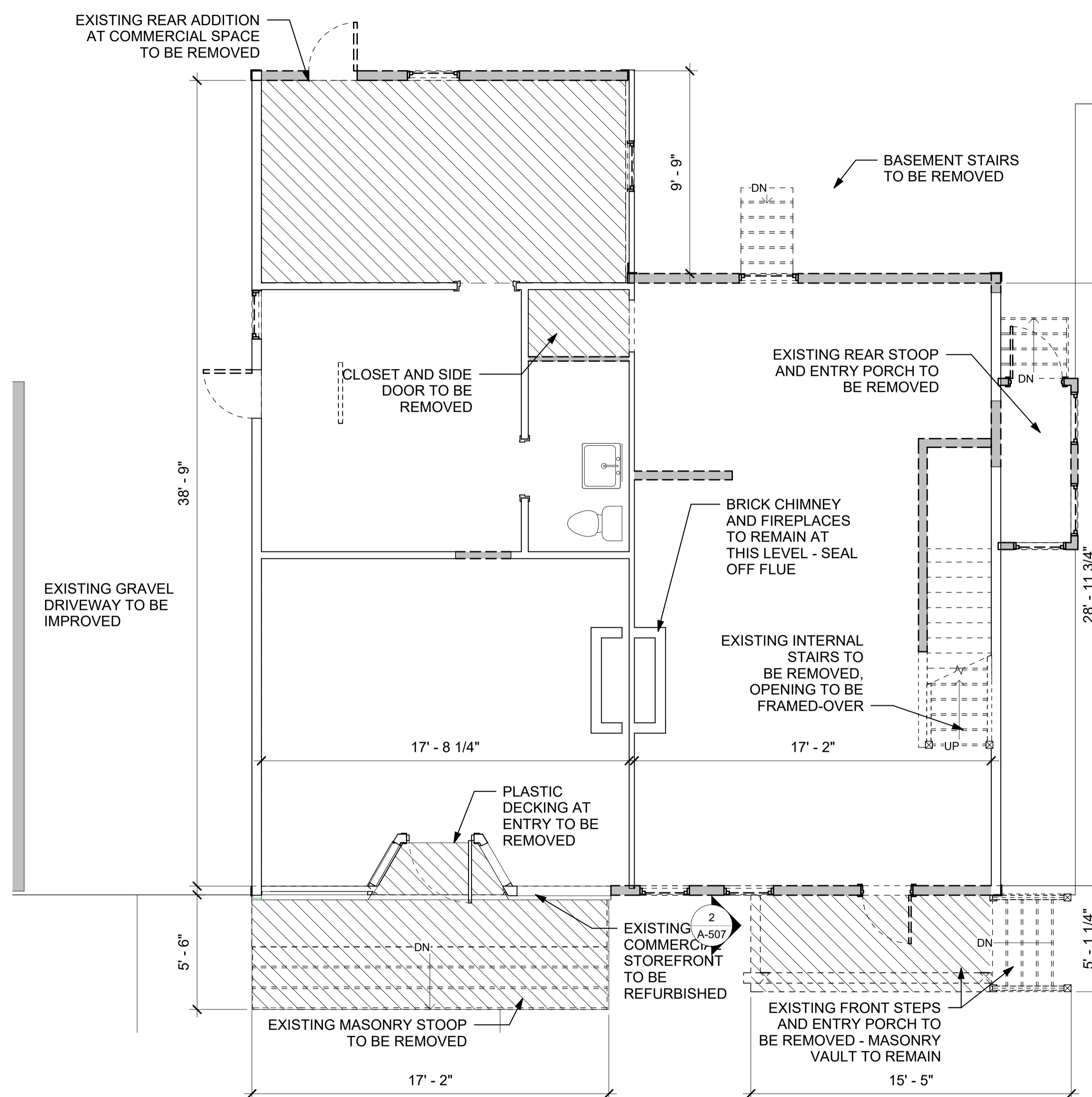
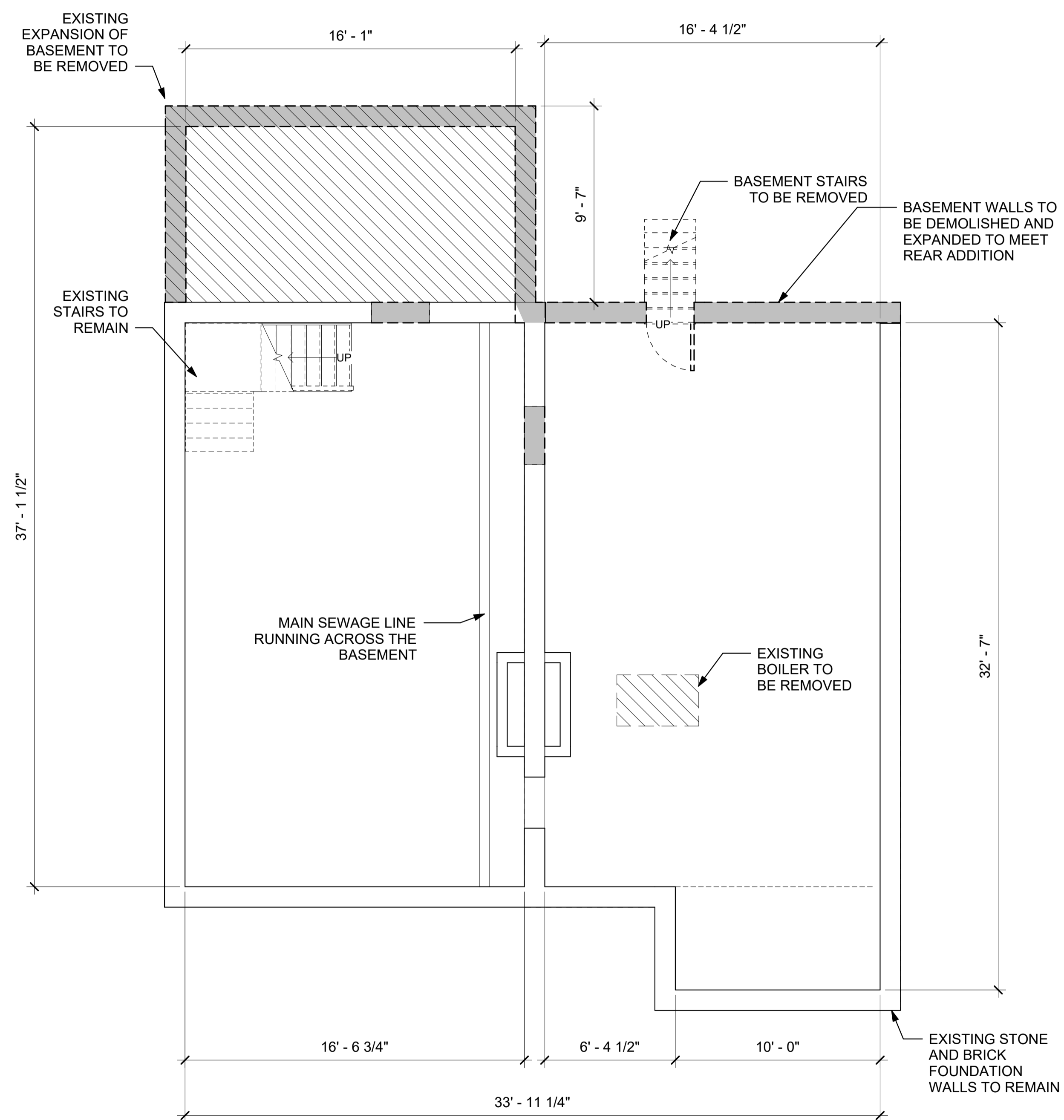
EXISTING PLANS

DWG NO:

D-101

SCALE: 1/4" = 1'-0" PAGE NO:
JOB 00000 PLOT'D: of 10
FILE PATH: Autodesk Docs://133-135 Main St/133-135 Main St_R23_PD.rvt

TRACKING NUMBER:



1 EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"

2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT:

133-135 MAIN STREET

133-135 MAIN STREET
COLD SPRING, NY 10516

TAX ID: 48.8-6-43

SEAL:

ALL RIGHTS RESERVED
BY RIVER ARCHITECTS © 2023

ISSUED FOR:
MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023
REV. DES. DATE

DWG TITLE:

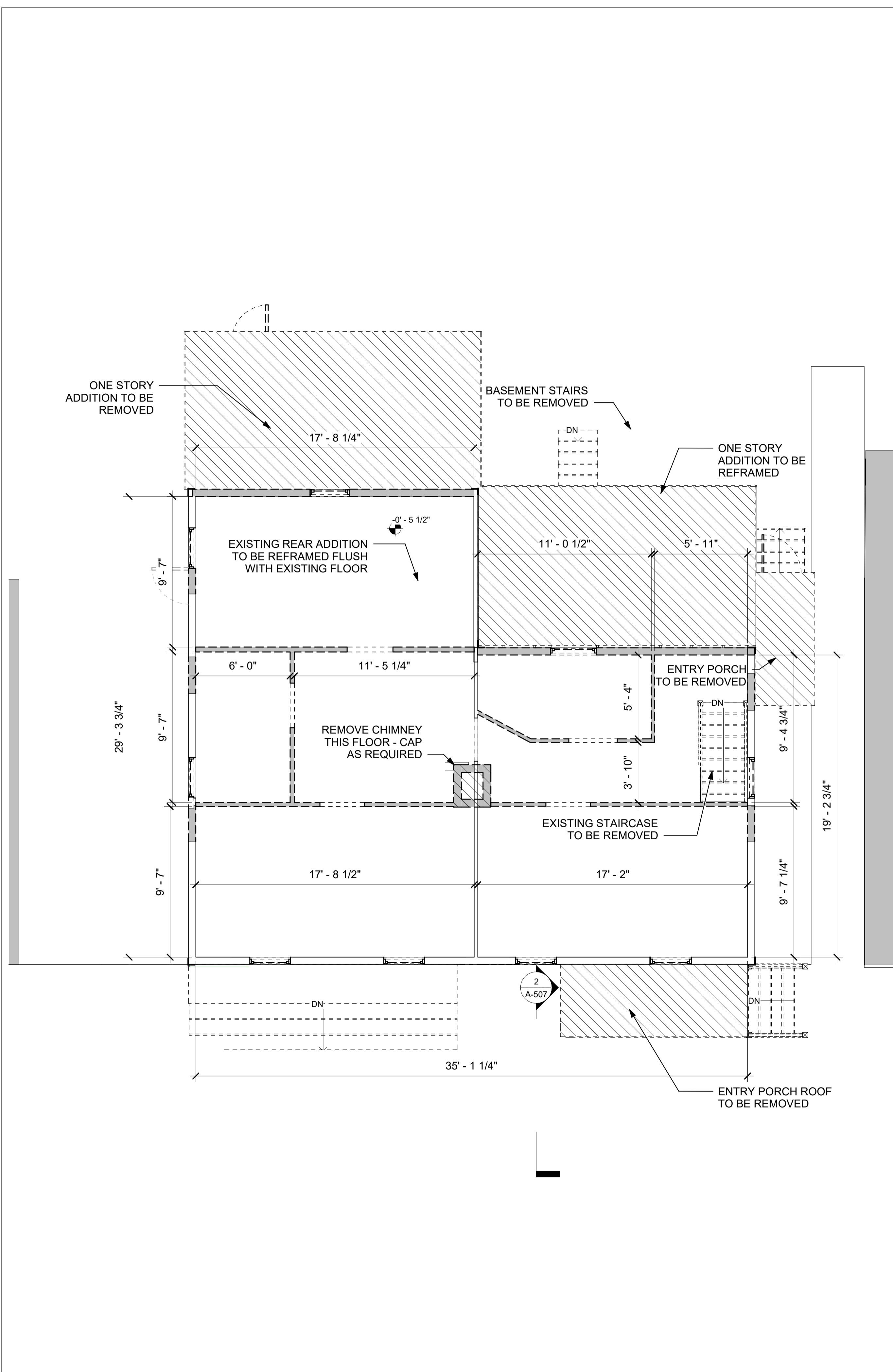
EXISTING PLANS

DWG NO:

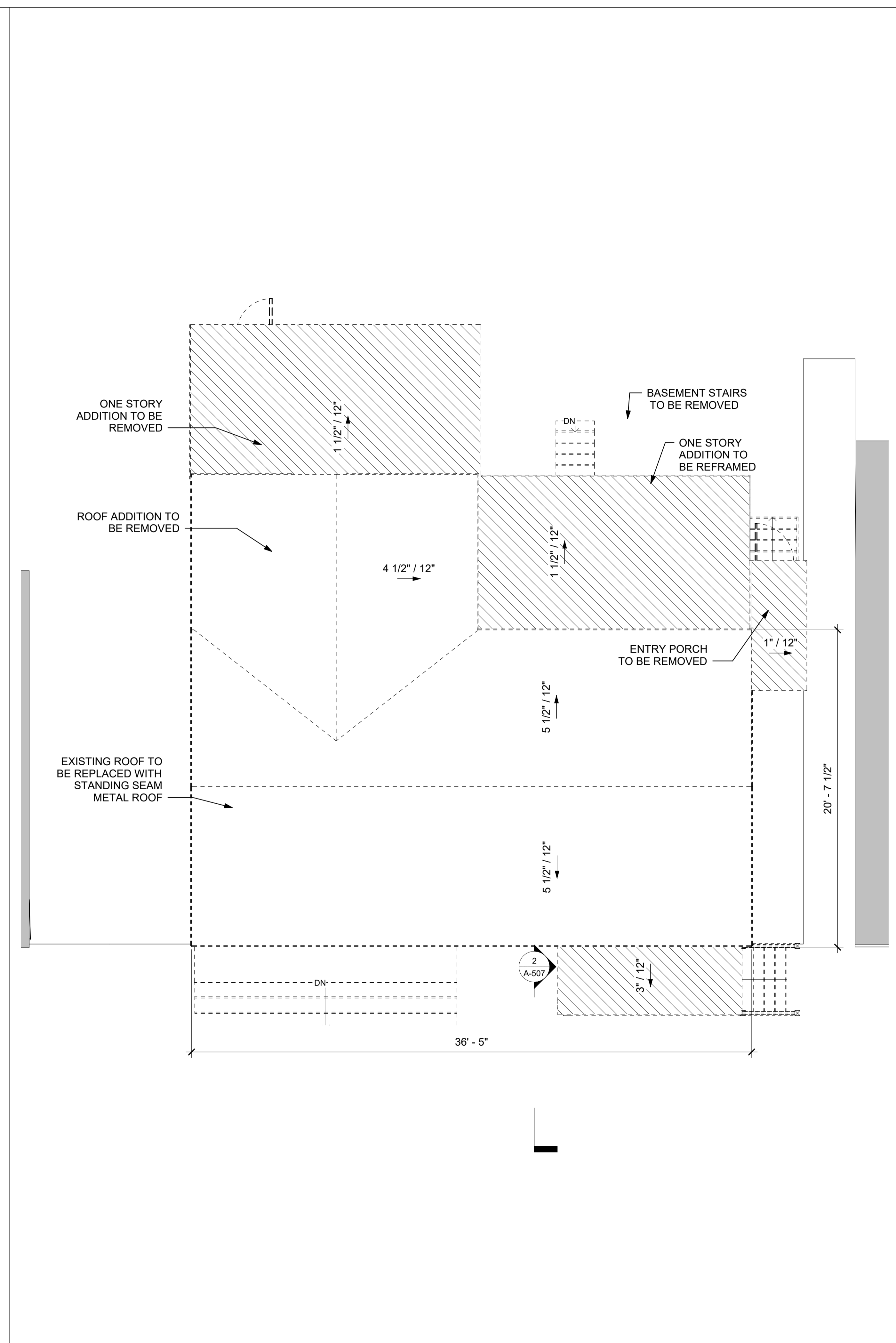
D-102

SCALE: 1/4" = 1'-0" PAGE NO: of 10
JOB: 00000 PLOT'D: of 10
FILE PATH: Autodesk Docs://133-135 Main St/133-135 Main St_R23_PD.rvt

TRACKING NUMBER:



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

PROJECT:

133-135 MAIN STREET

133-135 MAIN STREET
COLD SPRING, NY 10516

TAX ID: 48.8-6-43

SEAL:

ALL RIGHTS RESERVED
BY RIVER ARCHITECTS © 2023

ISSUED FOR:

MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023

REV. DES. DATE

DWG TITLE:

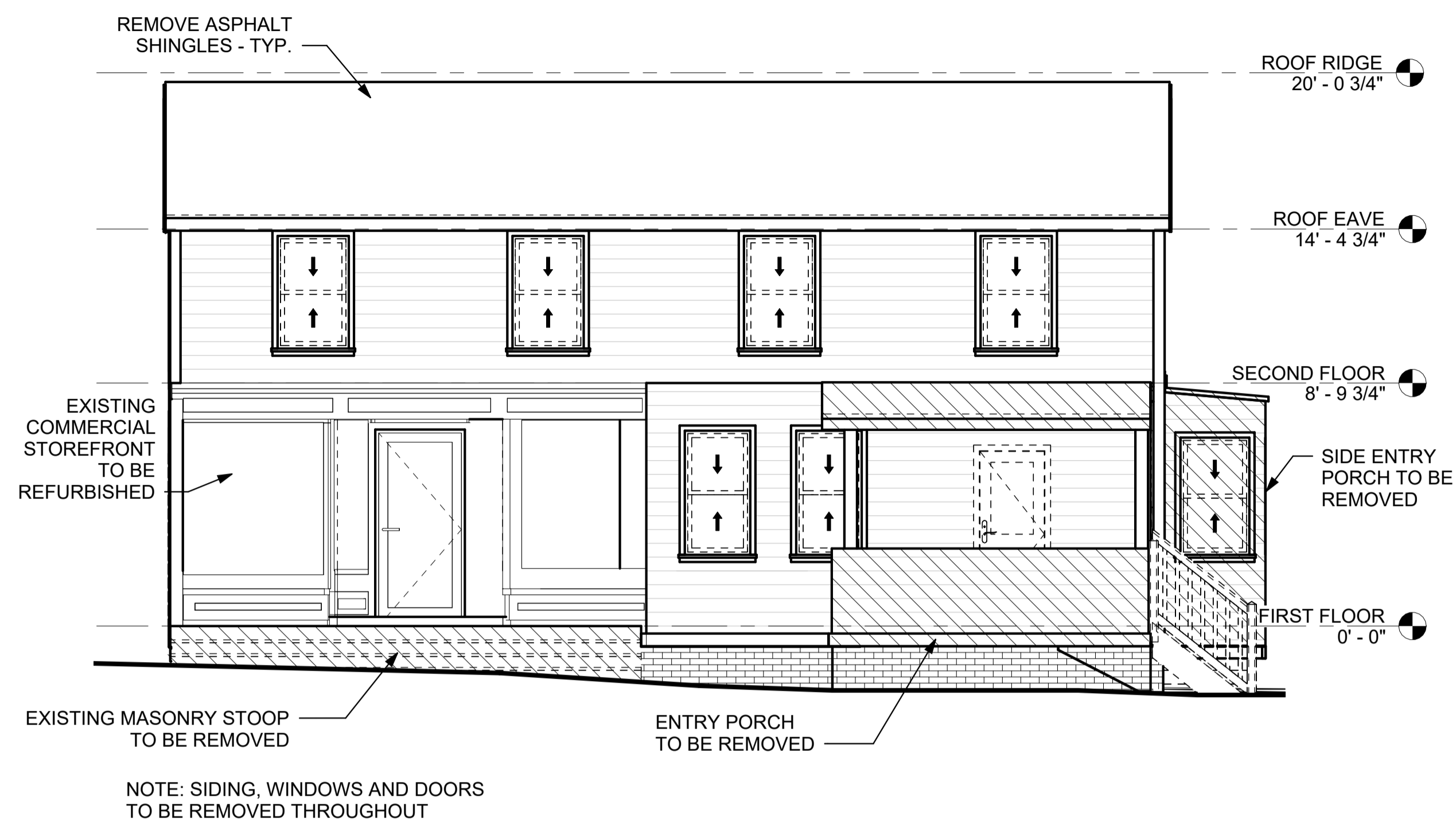
EXISTING ELEVATIONS

DWG NO:

D-301

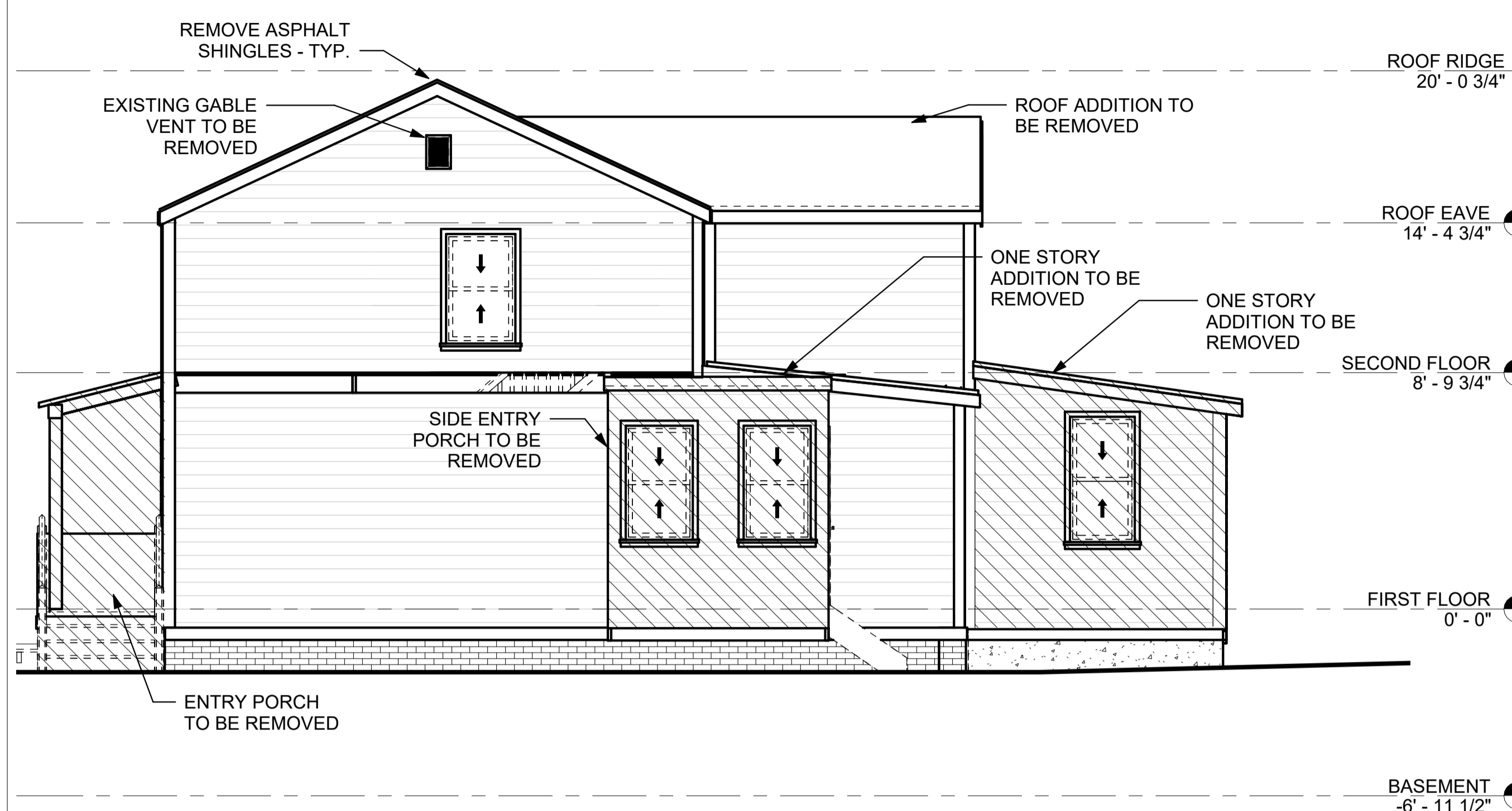
SCALE: 1/4" = 1'-0" PAGE NO:
JOB 0000 PLOT'D: of 10
FILE PATH: Autodesk Docs://133-135 Main St/133-135 Main St_R23_PD.rvt

TRACKING NUMBER:



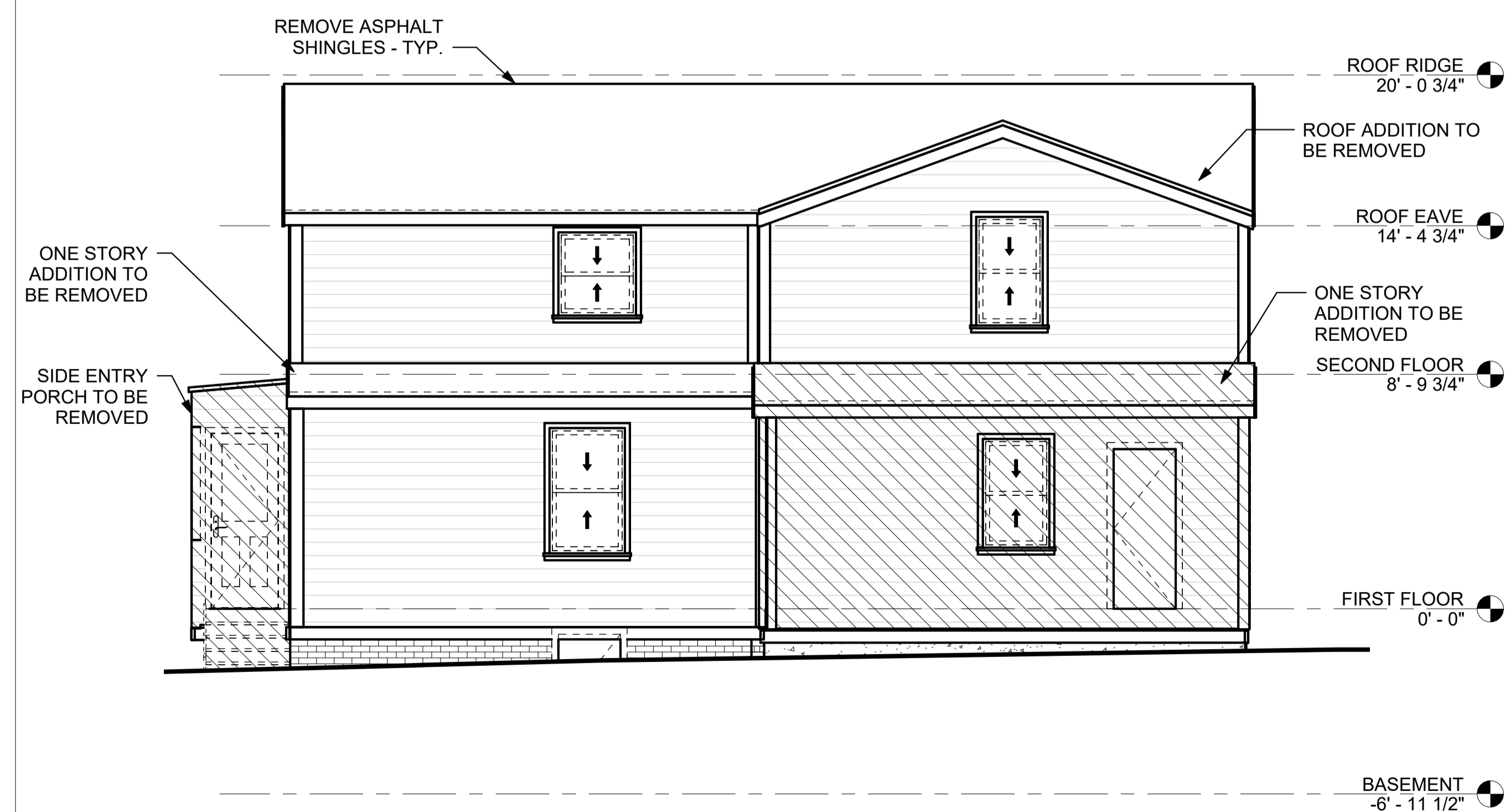
1 WEST ELEVATION

SCALE: 1/4" = 1'-0"



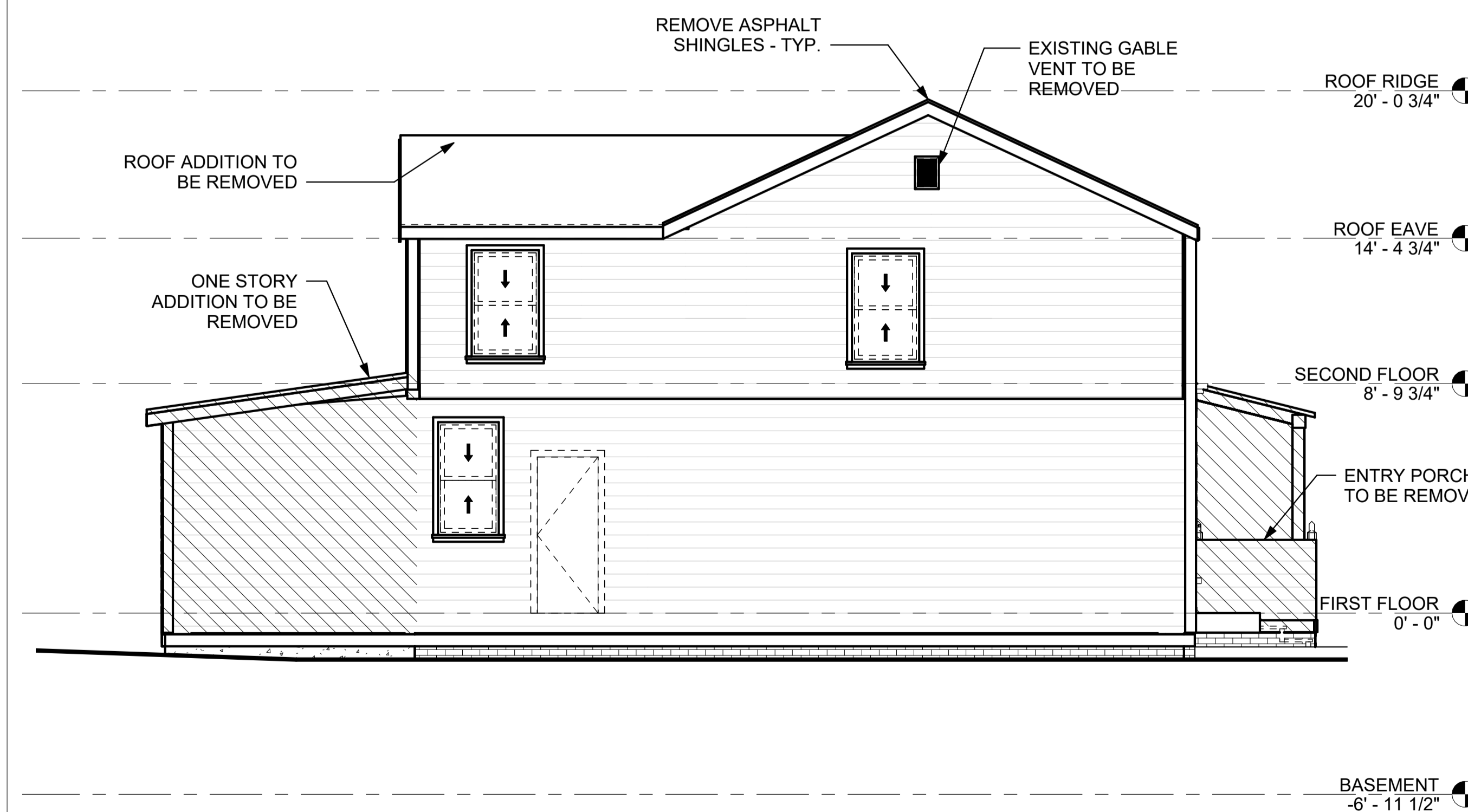
2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



3 EAST ELEVATION

SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT:

133-135 MAIN STREET

133-135 MAIN STREET
COLD SPRING, NY 10516

TAX ID: 48.8-6-43

SEAL:

ALL RIGHTS RESERVED
BY RIVER ARCHITECTS © 2023

ISSUED FOR:

MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023

REV. DES. DATE

DWG TITLE:

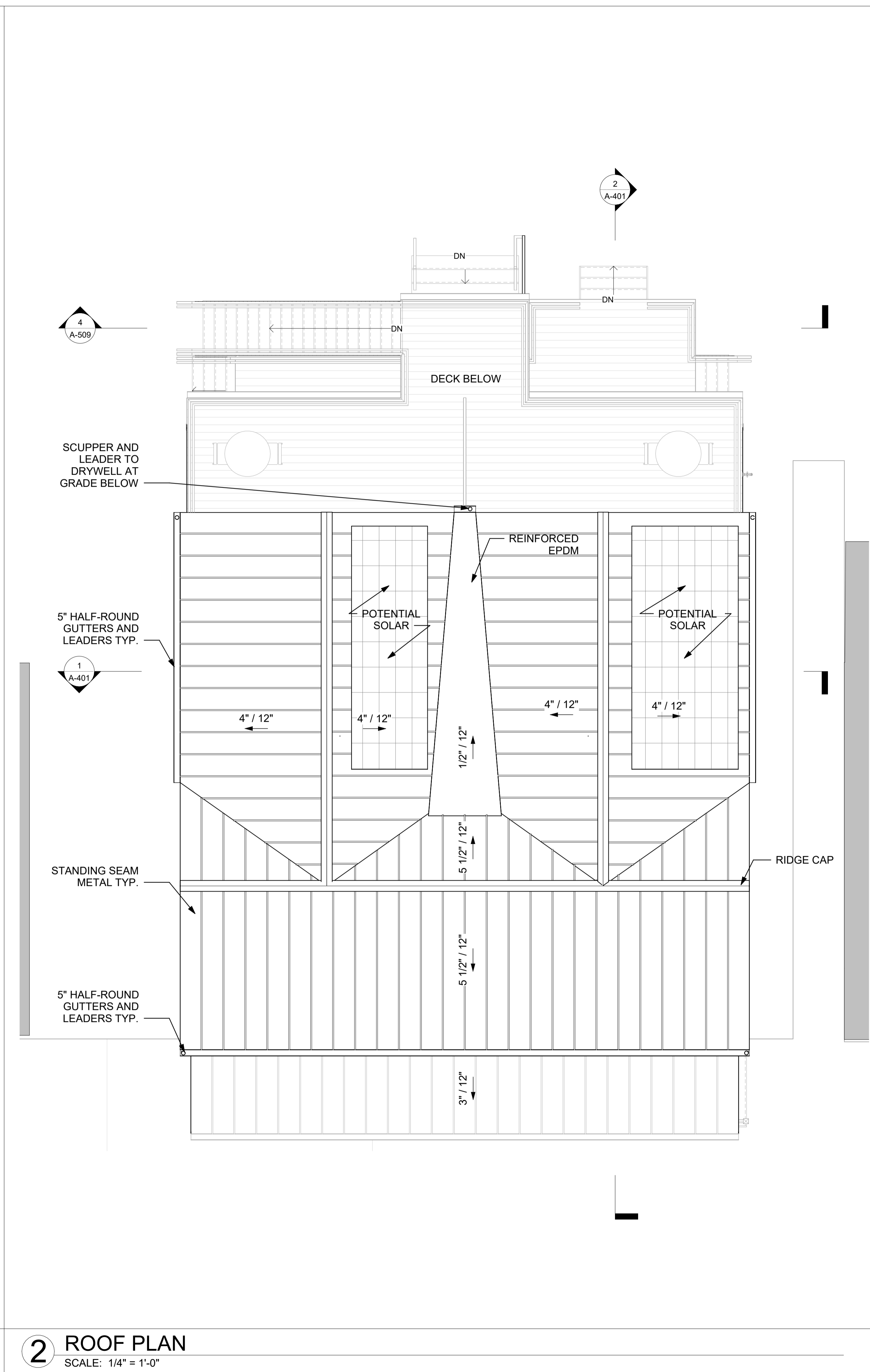
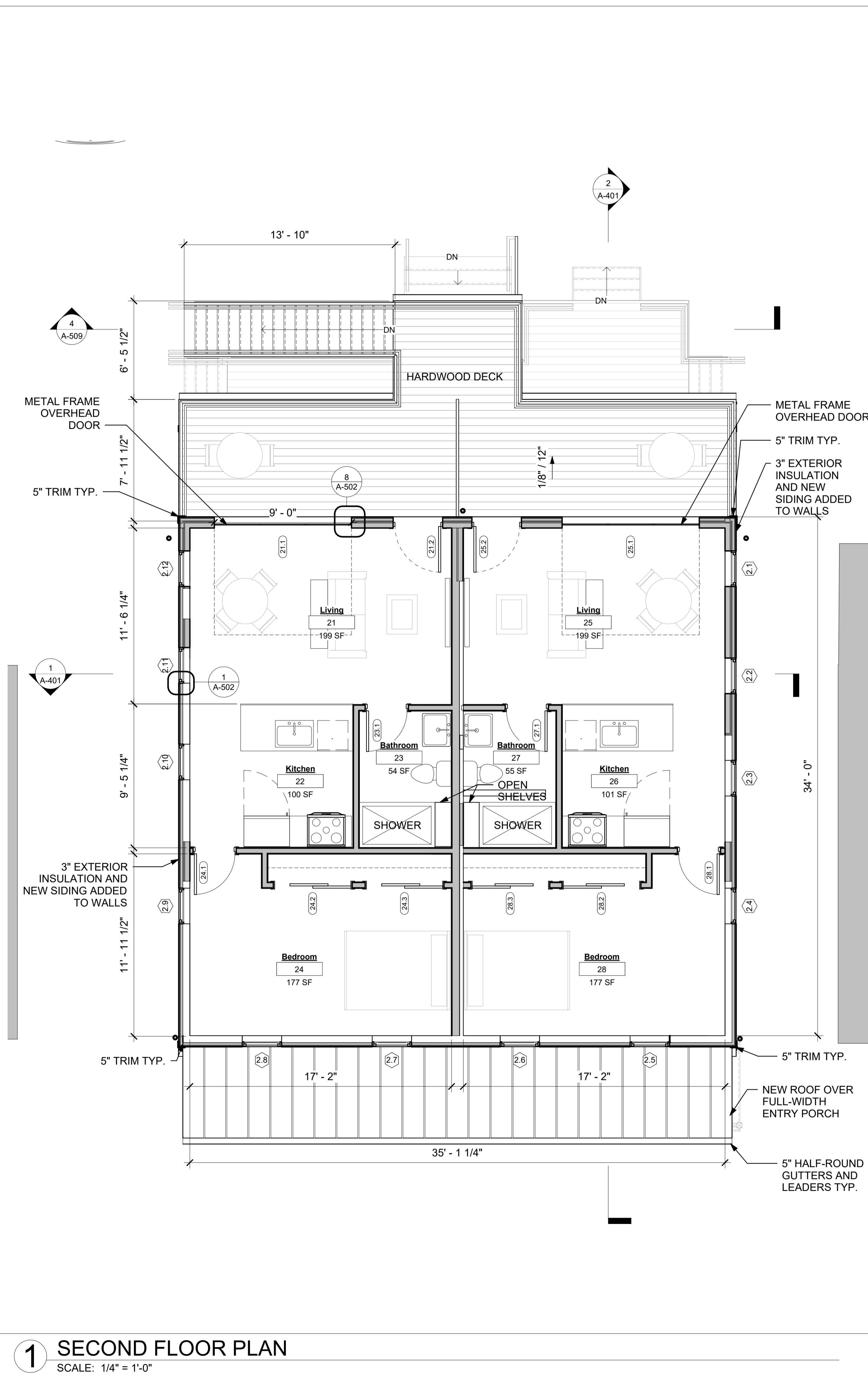
PROPOSED FLOOR PLANS

DWG NO:

A-102

SCALE: 1/4" = 1'-0" PAGE NO:
JOB: 0000 PLOT D: 1 of 10
FILE PATH: Autodesk Docs://133-135 Main St/133-135 Main St_R23_PD.rvt

TRACKING NUMBER:

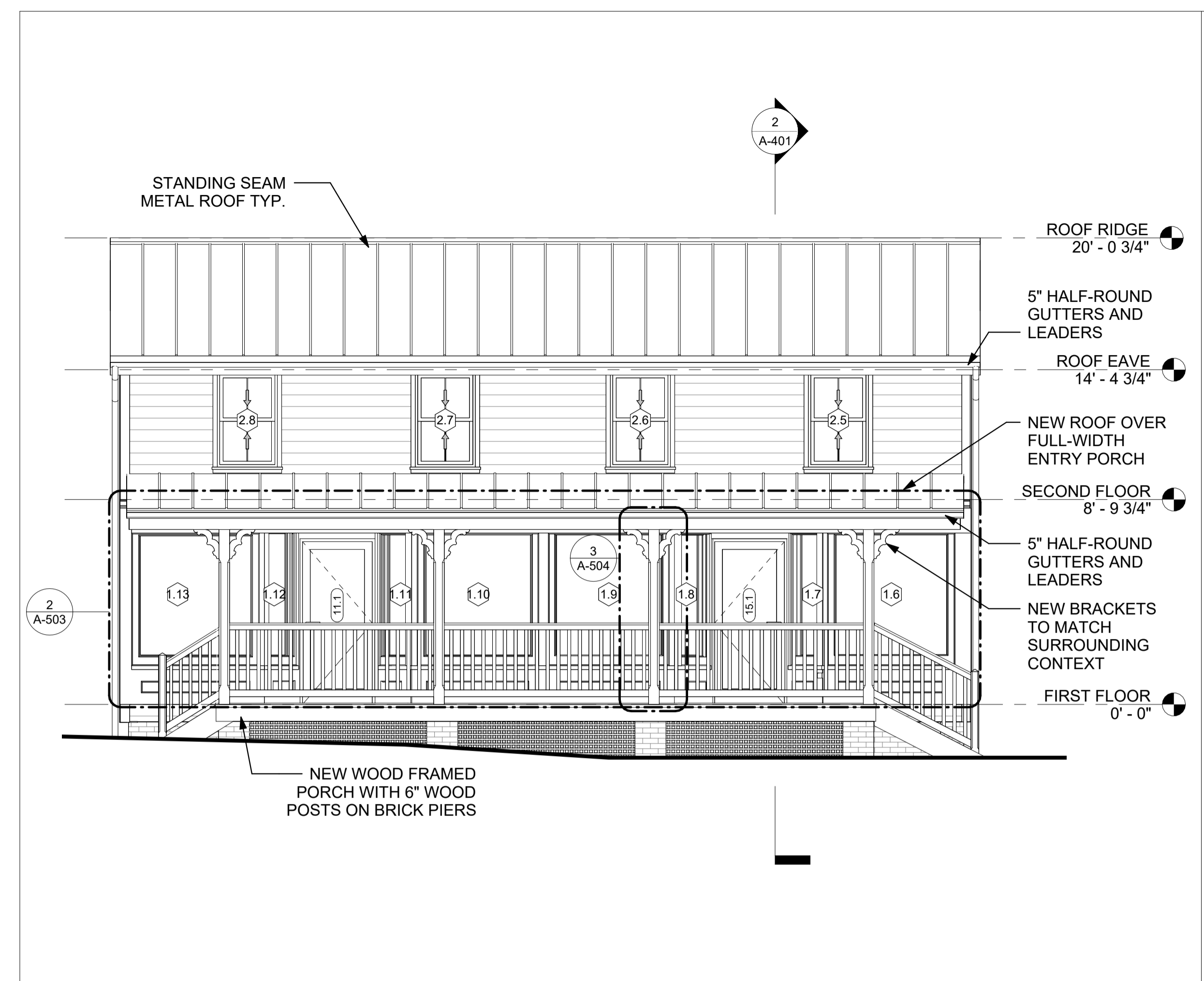


PROJECT:

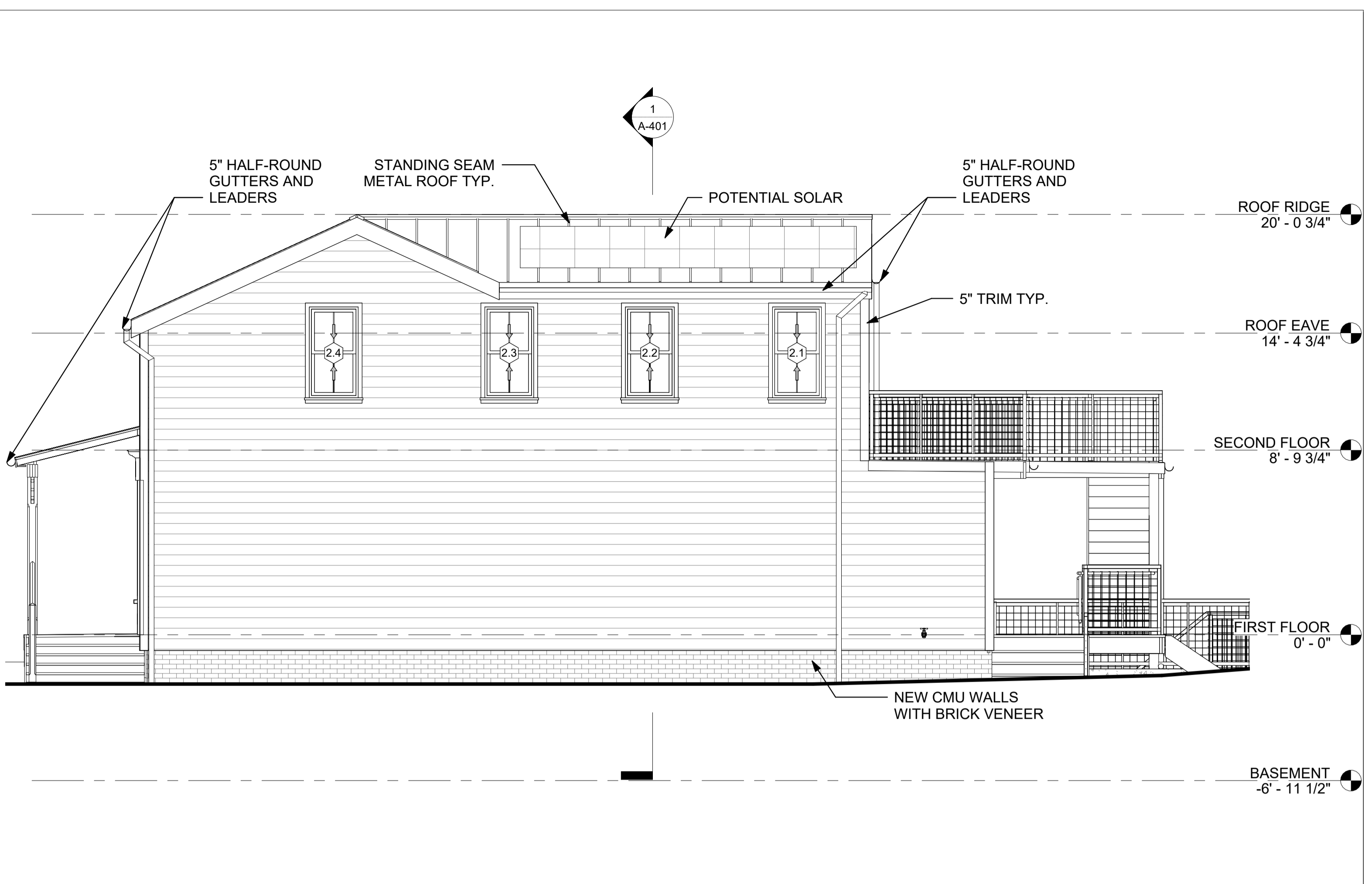
133-135 MAIN STREET

133-135 MAIN STREET
COLD SPRING, NY 10516

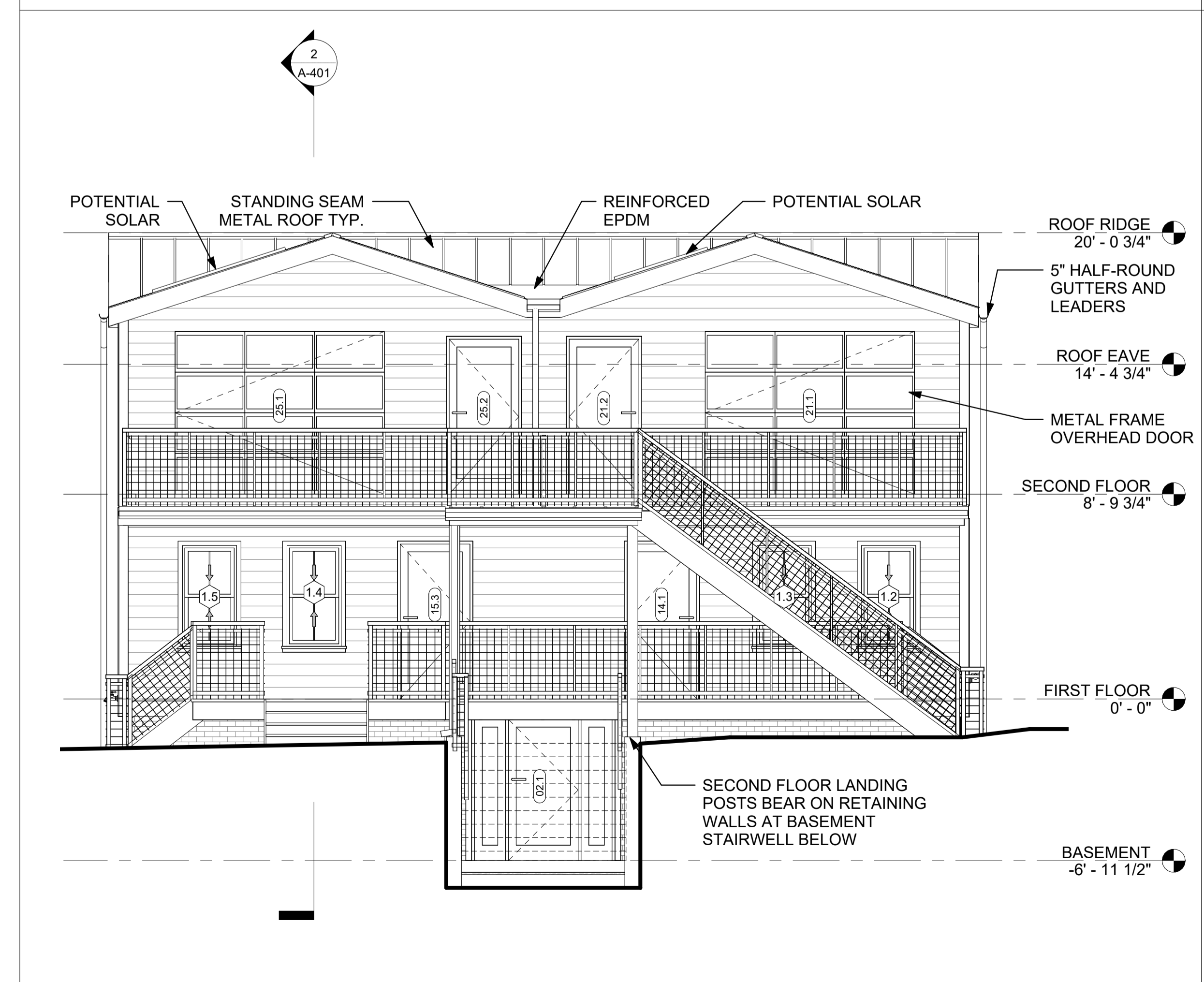
TAX ID: 48.8-6-43



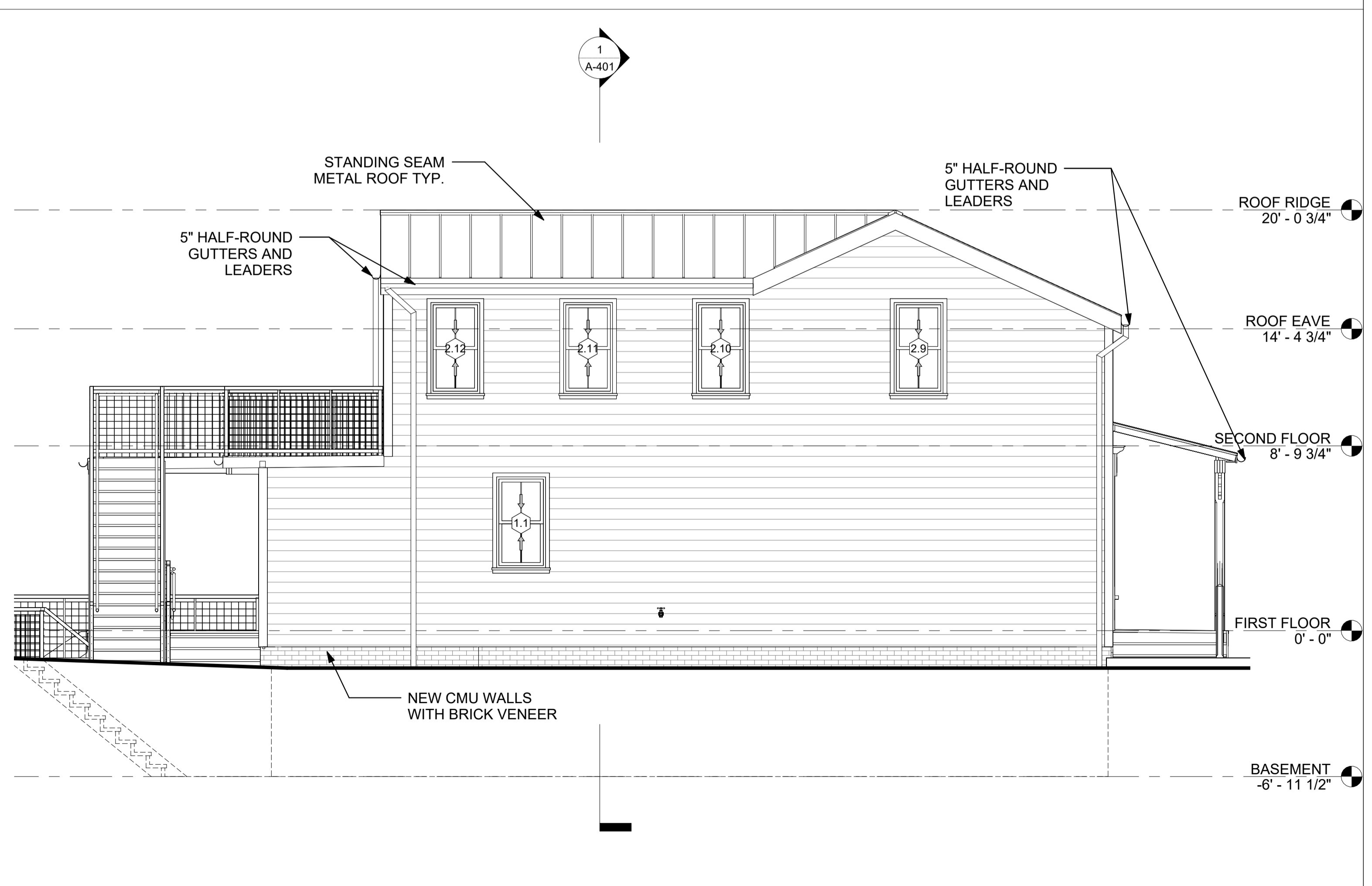
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

SEAL:

ALL RIGHTS RESERVED
BY RIVER ARCHITECTS © 2023

ISSUED FOR:
MUNICIPAL REVIEW

ISSUE DATE: 11/27/2023
REV. DES. DATE

DWG TITLE:

PROPOSED ELEVATIONS

DWG NO:

A-301

SCALE: 1/4" = 1'-0" PAGE NO: of 10
JOB 0000 PLOT'D: of 10
FILE PATH: Autodesk Docs://133-135 Main St/133-135 Main St_R23_PD.rvt

TRACKING NUMBER: