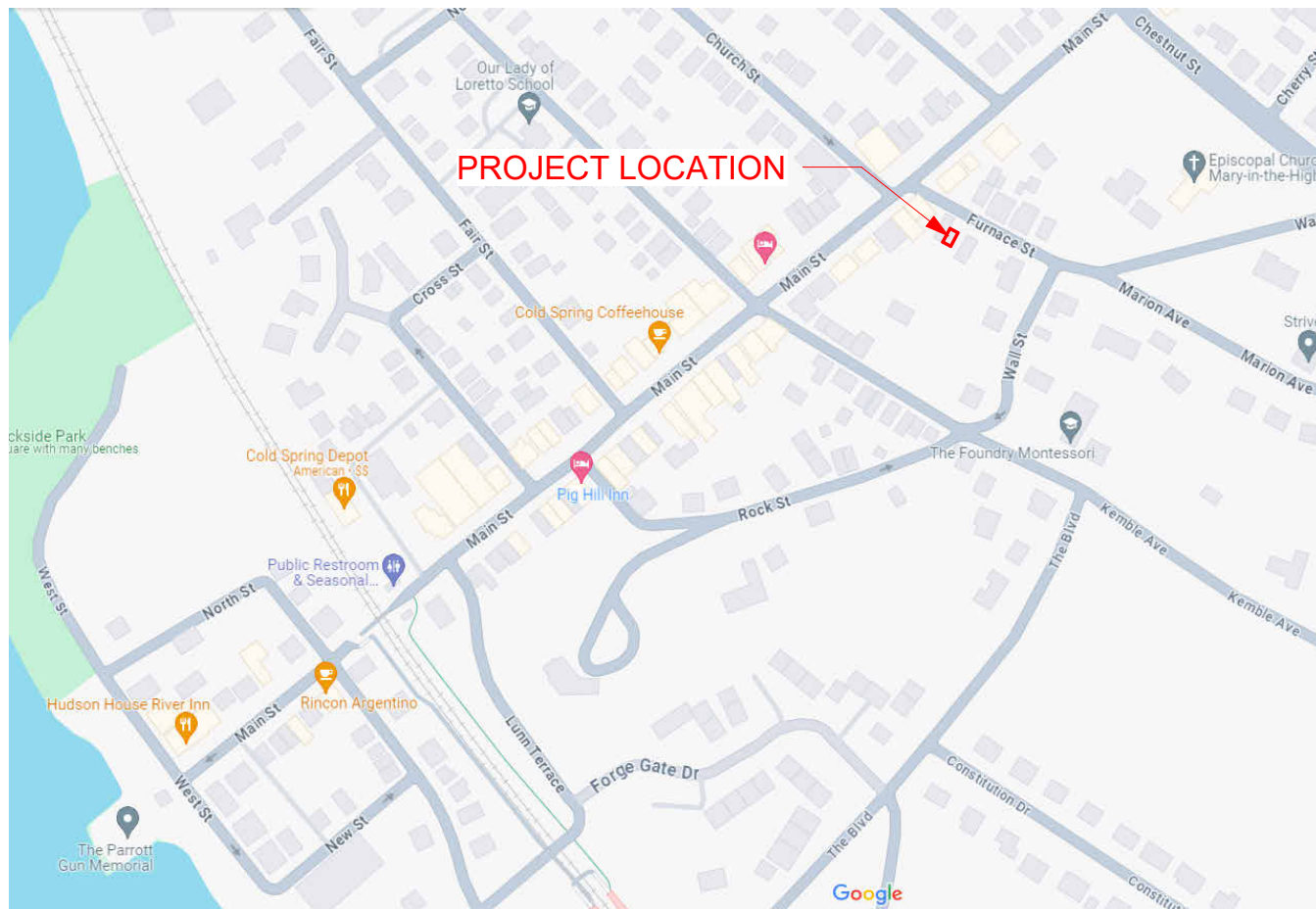


DRAWING LIST-ZBA

Sheet Number	Sheet Name
ZBA-01	TITLE SHEET
ZBA-02	SITE PLAN
ZBA-03	EXISTING FIRST FLOOR PLAN
ZBA-04	EXISTING SECOND FLOOR PLAN
ZBA-05	EXISTING ROOF PLAN
ZBA-06	EXISTING SOUTH ELEVATION
ZBA-07	EXISTING EAST ELEVATION
ZBA-08	EXISTING WEST ELEVATION
ZBA-09	PROPOSED FIRST FLOOR PLAN
ZBA-10	PROPOSED SECOND FLOOR PLAN
ZBA-11	PROPOSED ROOF PLAN
ZBA-12	PROPOSED SOUTH ELEVATION
ZBA-13	PROPOSED EAST ELEVATION
ZBA-14	PROPOSED WEST ELEVATION

TAX LOT #: 48.8-6-34

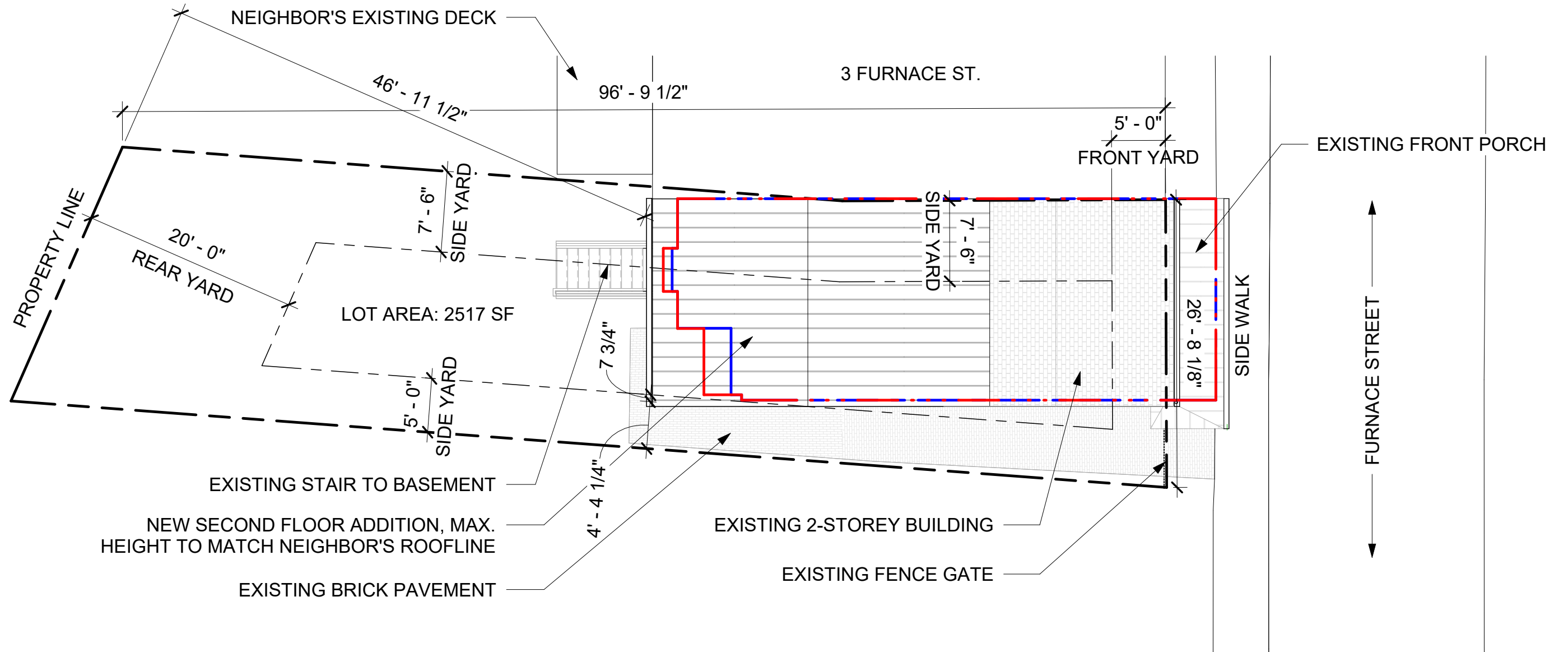




ZONING CONFORMANCE CHART

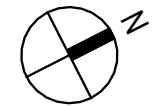
ZONE: R-O - OLDER RESIDENTIAL NEIGHBORHOODS					
	REQUIRED	EXISTING	PROPOSED	DIFFERENCE	CONFORMANCE
MIN LOT AREA	4000 SF	2517 SF	2517 SF	1483 SF	EXISTING NONCONFORMS
MIN FRONT YARD SETBACK	5'	0'	0'	5'	EXISTING NONCONFORMS
MIN SIDE YARD SETBACK	5'	4'-10 1/2"	3'-11"	1'-1"	NONCONFORMS
MIN SIDE YARD SETBACKS COMBINED	12.5'	4'-10 1/2"	3'-11"	8'-7"	NONCONFORMS
MIN REAR YARD SETBACK	20'	48'-7 1/2"	46'-11 1/2"	-	CONFORMS
MIN LOT WIDTH	45'	26'-8"	26'-8"	18'-4"	EXISTING NONCONFORMS
MIN LOT DEPTH	80'	96'-9 1/2"	96'-9 1/2"	-	CONFORMS
MAX BUILDING STORIES	2-1/2	2	2	-	CONFORMS
MAX BUILDING HEIGHT	35'	22'-11"	24'-4 1/2"	-	CONFORMS
MAX BUILDING COVERAGE	30%	35.8% (902SF)	36.6% (920SF)	0.8%	EXISTING NONCONFORMS

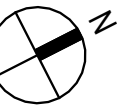
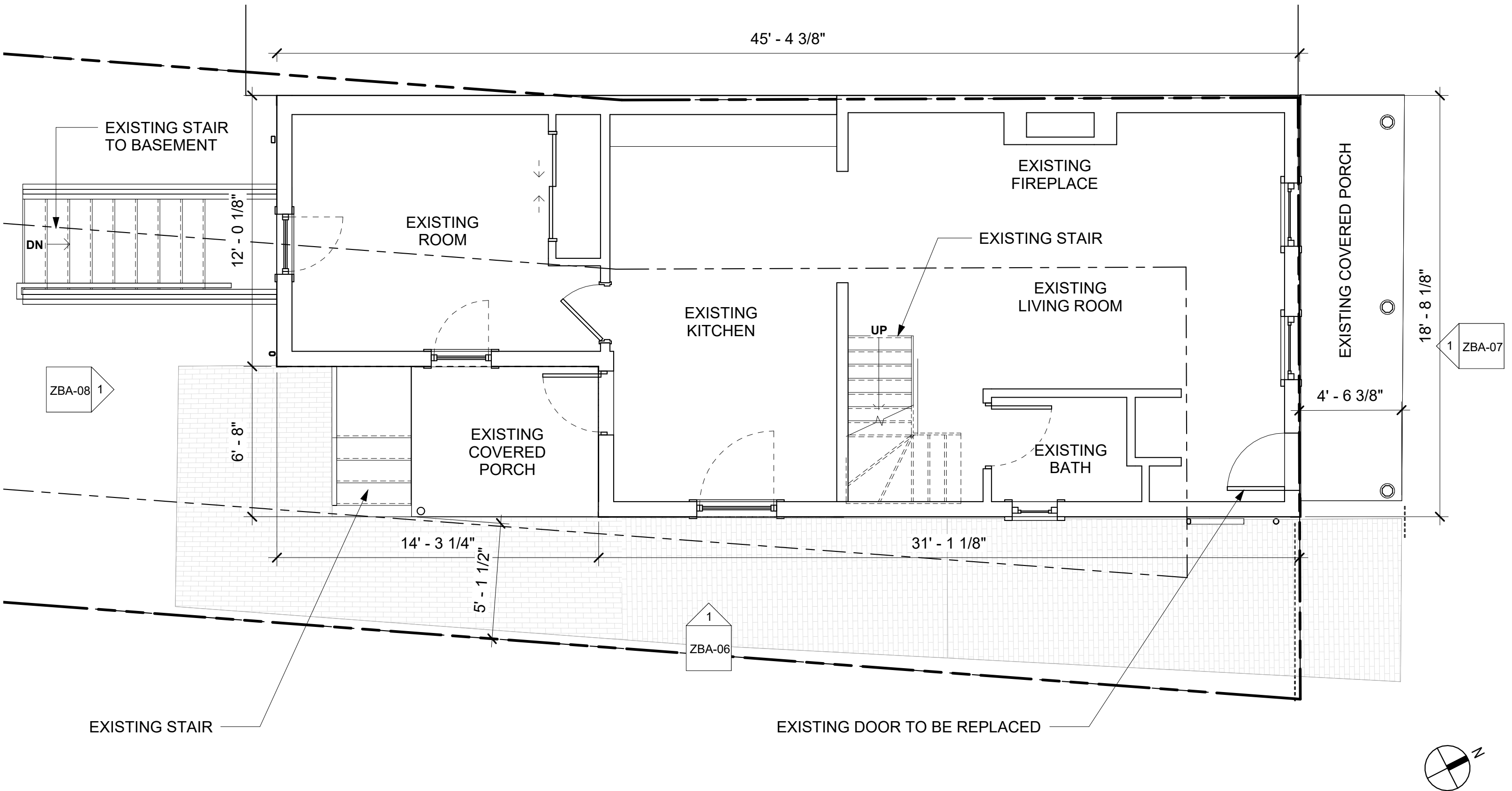
NOTE:

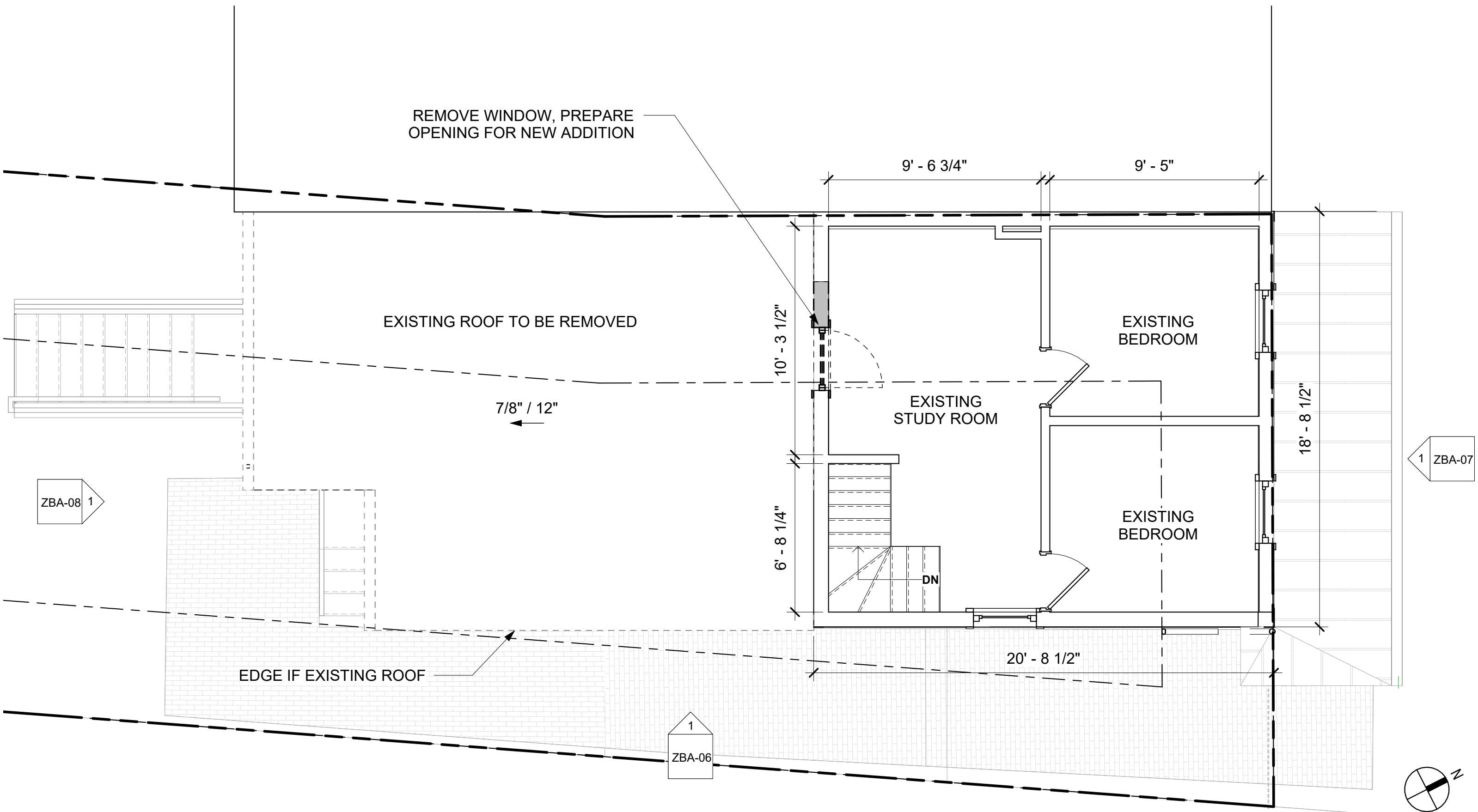
- 1. REFER PROPERTY LINE TO SURVEY
- 2. ZONING CODE 134-2 DEFINITION OF "AREA BUILDING" DEFINES AREA AS TAKEN AT GRADE PLANE



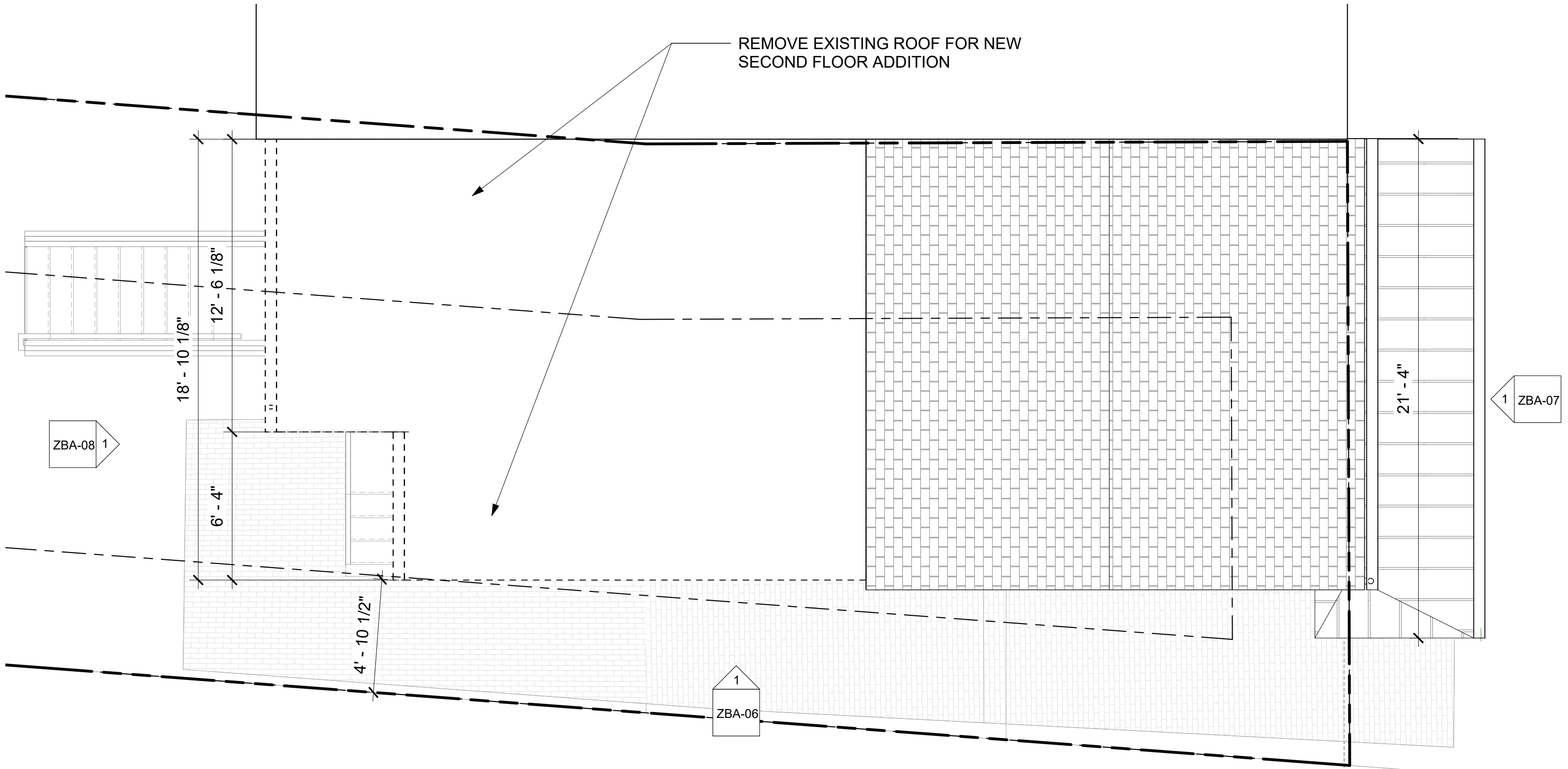
-  PROPOSED BUILDING FOOTPRINT
-  EXISTING BUILDING FOOTPRINT

TAX LOT #: 48.8-6-34 





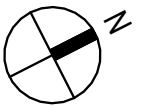
REMOVE EXISTING ROOF FOR NEW
SECOND FLOOR ADDITION



ZBA-08 1

1 ZBA-07

1
ZBA-06



REMOVE EXISTING ROOF FOR
SECOND FLOOR ADDITION

ROOF
19' - 11"

22' - 11"

SECOND FLOOR
9' - 0"

FIRST FLOOR
0' - 0"

AVG. GRADE
-3' - 0"

BASEMENT FLOOR
-7' - 6"

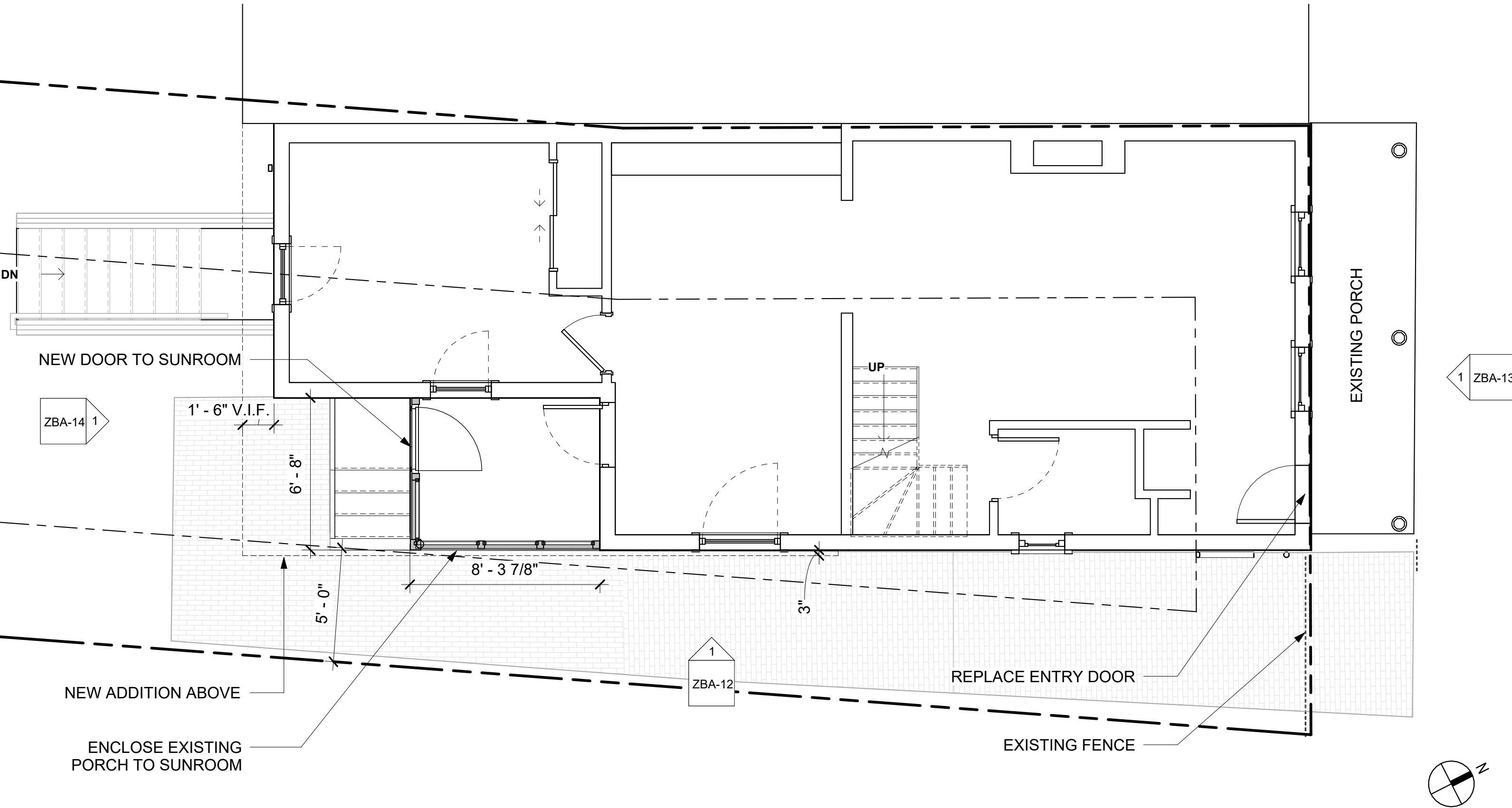
14' - 3 1/4"

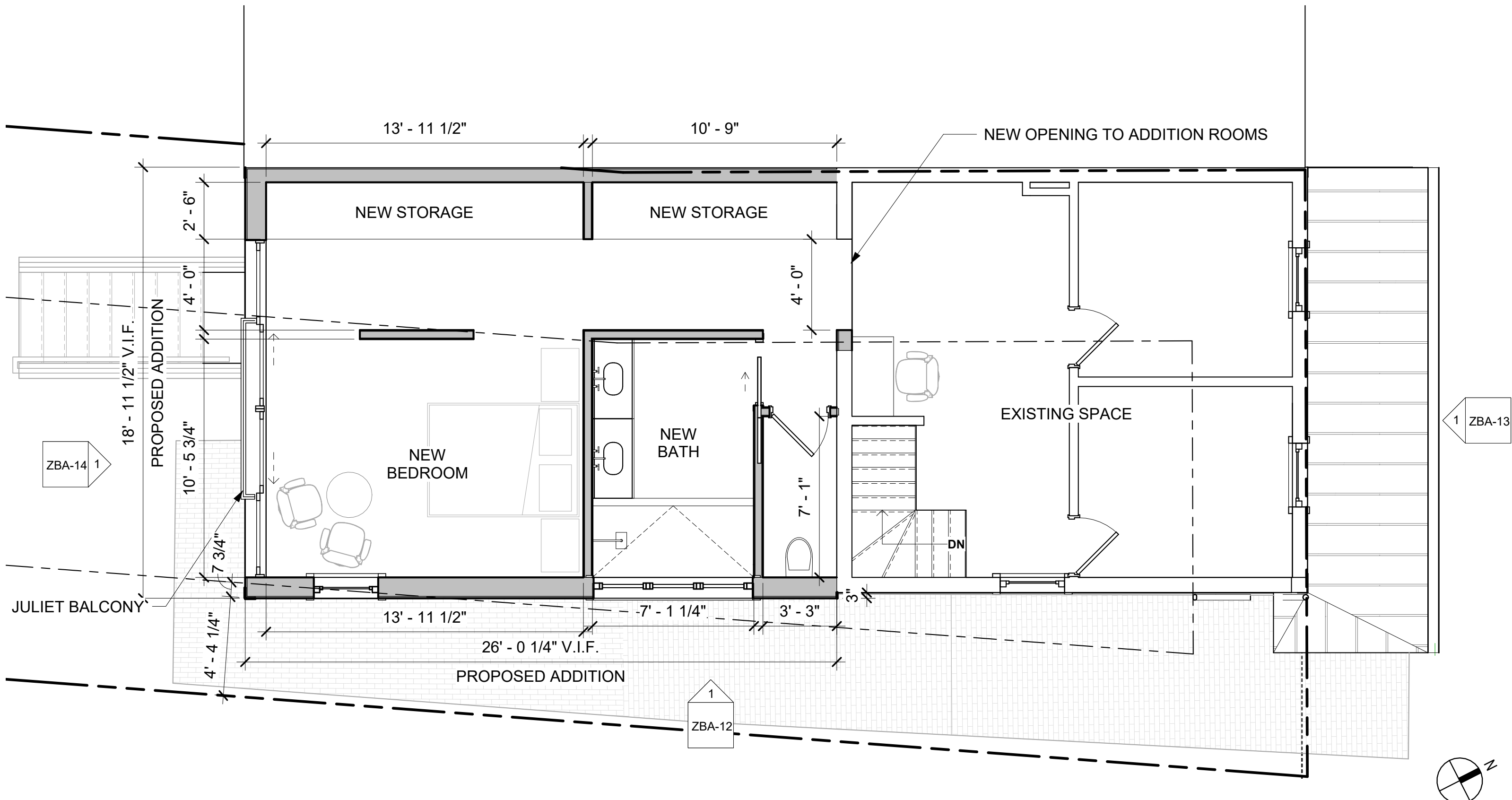
10' - 5 7/8"

20' - 7 1/4"





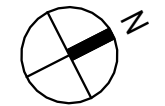


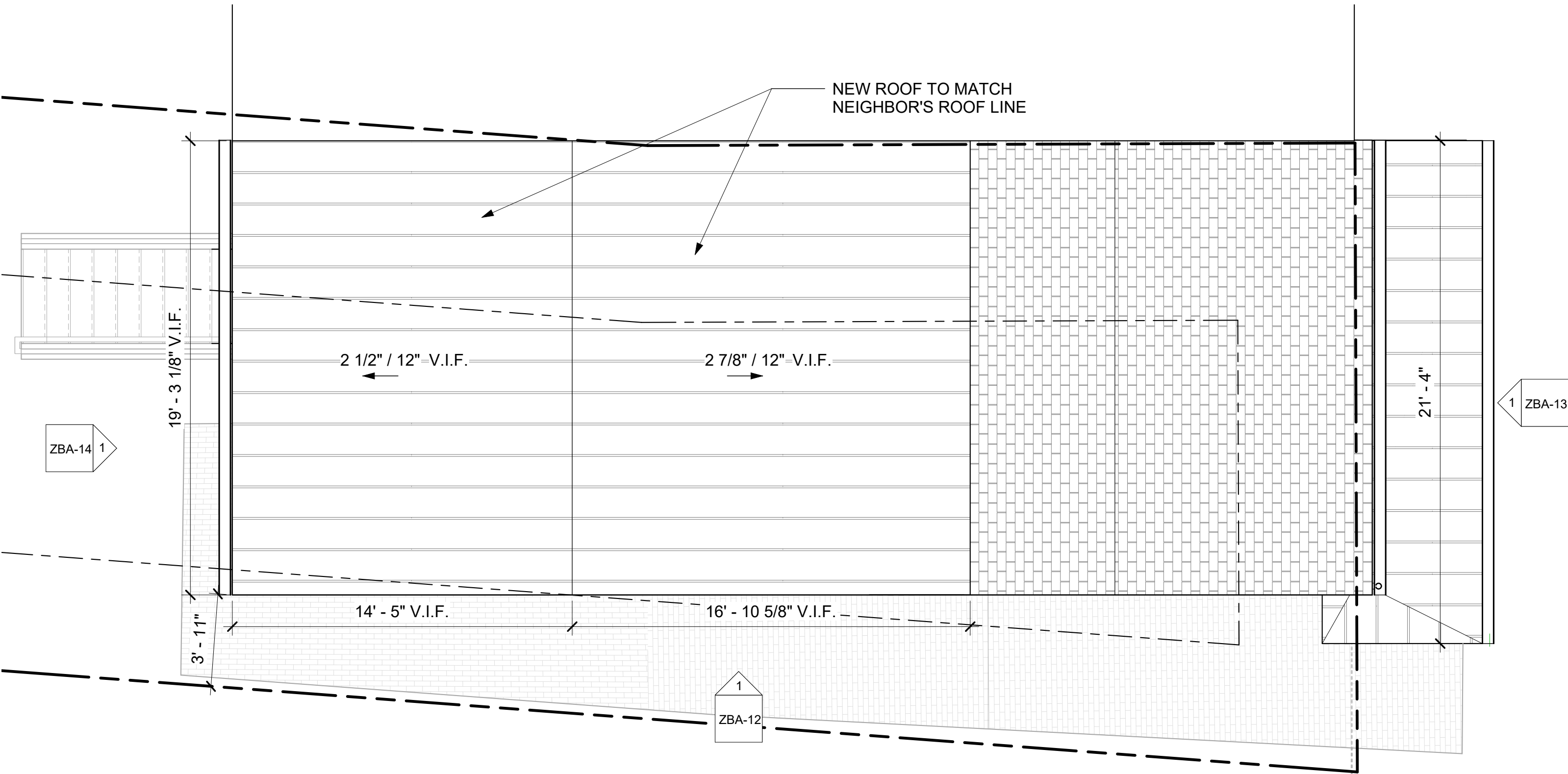


ZBA-14 1

1 ZBA-13

1
ZBA-12

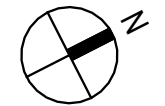




ZBA-14 1

1 ZBA-13

1
ZBA-12



ELEVATION DESIGN IN PROGRESS

NEW SECOND FLOOR ADDITION, HEIGHT TO MATCH NEIGHBOR'S ROOFLINE

NEW HIGH PERFORMANCE WINDOWS TO MATCH EXISTING WINDOW STYLE

ROOF
19'-11"

SECOND FLOOR
9'-0"

FIRST FLOOR
0'-0"

AVG. GRADE
-3'-0"

ENCLOSE EXISTING PORCH FOR NEW SUNROOM, LOWER PANEL TO MATCH EXISTING FRONT PORCH

EXISTING BASEMENT CLERESTORY WINDOWS

24'-4 1/4" V.I.F.

1'-6" V.I.F.



