

ALTERATION & ADDITION:

SCARPA RESIDENCE

14 CONSTITUTION DRIVE
COLD SPRING, NY 10516

DRAWING LIST:

T1 - TITLE SHEET - GENERAL NOTES & PROJECT DATA

T2 - SPECIFICATIONS (NOT SHOWN)

SP1 - SITE / PLOT PLAN & ZONING INFORMATION

X1 - EXISTING FLOOR PLAN & DEMOLITION NOTES

X2 - EXISTING ELEVATIONS & DEMOLITION NOTES

X3 - EXISTING ELEVATIONS & DEMOLITION NOTES

X4 - EXISTING BUILDING SECTION & DEMOLITION NOTES (NOT SHOWN)

S0 - STRUCTURAL NOTES & DETAILS (NOT SHOWN)

S1 - NEW FOUNDATION & FIRST FLOOR FRAMING

S2 - CONCRETE & LUMBER SPECIFICATIONS (NOT SHOWN)

A1 - NEW FIRST FLOOR PLAN

A2 - ROOF PLAN & GENERAL ROOFING NOTES

A3B - BUILDING ELEVATIONS (WEST & SOUTH)

A4B - BUILDING ELEVATIONS (EAST & NORTH)

A5 - BUILDING SECTION (NOT SHOWN)

A6 - RESERVED (NOT SHOWN)

A7 - RESERVED (NOT SHOWN)

A8 - WINDOW & DOOR TYPES & SCHEDULE (NOT SHOWN)

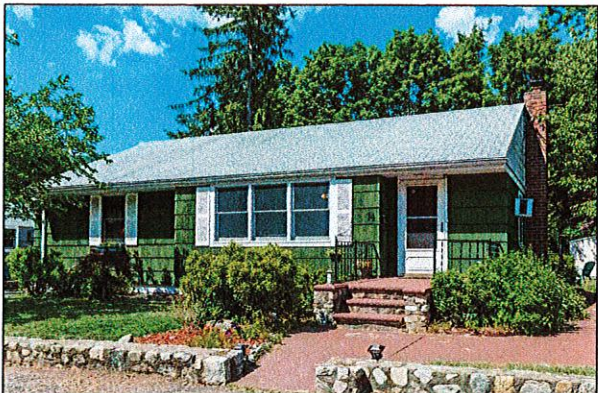
A9 - WINDOW & DOOR NOTES AND INTERIOR TRIM (NOT SHOWN)

A10 - MISC DETAILS (NOT SHOWN)

E1 - ELECTRICAL PLAN & ELECTRICAL LEGEND (NOT SHOWN)

E2 - ELECTRICAL, SMOKE / CO & MECHANICAL NOTES (NOT SHOWN)

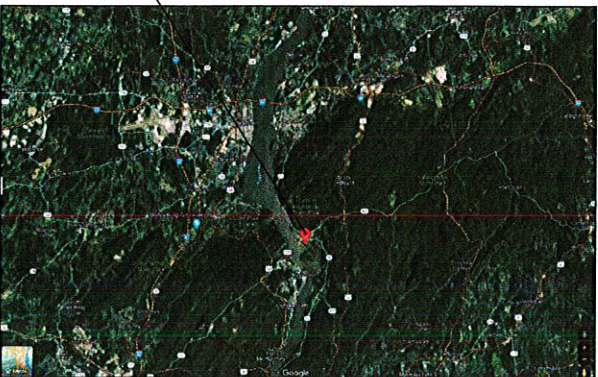
PROJECT LOCATION



EXISTING FRONT VIEW FROM STREET



REAR VIEW FROM YARD



RESIDENTIAL CODE OF NEW YORK STATE 2020 CERTIFICATION

I do hereby certify that these drawings have been prepared under my supervision, and that to the best of my knowledge and professional judgment, the design has been made in conformance with all applicable requirements of the Residential Code of New York State 2020 Edition.

New York State Education Law

Unauthorized alteration or addition to these plans and specifications is a violation of Section 7209, Subdivision 2, of the New York State Education Law.

New York State Energy Conservation Construction Code

Compliance Statement

The proposed residential addition represented in these documents is in compliance with the Energy Conservation & Construction Code of New York State 2020 edition utilizing the prescriptive method for determining R-value for construction assemblies in the location in which the building will be constructed.

We do hereby certify that these drawings have been prepared under our supervision, and that to the best of our knowledge and professional judgment, the design has been made in conformance with all applicable requirements of the New York State Energy Conservation & Construction Code 2020 edition.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- ALL COMPONENTS INCORPORATED INTO THE WORK SHALL CONFORM TO MATERIAL STRESSES, CAPACITIES AND METHODS OF CONSTRUCTION, PRESCRIBED BY LOCAL AND STATE CODES.
- CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND CHECK ALL DIMENSIONS OF THE BUILDING IN THE FIELD BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEPARTMENT OF BUILDING PERMITS PRIOR TO THE START OF WORK. OWNER TO REIMBURSE THE CONTRACTOR FOR ALL REQUIRED BUILDING, PLANNING, ZONING, HEALTH AND OTHER ASSOCIATED AGENCIES FILING & FILING PERMITTING FEES. PERMITS MUST BE POSTED AND REMAIN VISIBLE AT THE JOBSITE AT ALL TIMES DURING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THAT OF OTHER SUBCONTRACTORS AND SUPPLIERS RETAINED BY THE OWNER.
- ALL HIGHLANDS ARCHITECTURE DRAWINGS, SPECIFICATIONS AND CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL; ANY WORK SHOWN OR REFERRED TO ON ANY DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS.
- THE CHARACTER AND SCOPE OF WORK ARE ILLUSTRATED BY THE DRAWINGS. TO INTERPRET AND EXPLAIN THE DRAWINGS, OTHER INFORMATION DEEMED NECESSARY BY HIGHLANDS ARCHITECTURE WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK, AND IT IS TO BE UNDERSTOOD THAT THE SAID ADDITIONAL DRAWINGS ARE TO BE OF EQUAL FORCE WITH THE DRAWINGS AND SHALL BE CONSIDERED AS FORMING PART OF THESE NOTES TO WHICH THEY REFER.
- CONTRACTOR SHALL NOT OBSTRUCT ACCESS TO ROADWAYS AT ANY TIME.
- ALL DIMENSIONS NOTED ON PLANS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
- NO DRAWING IS TO BE SCALED, USE DIMENSIONS ONLY.
- CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THIS DOCUMENT AND CONTRACT DOCUMENTS ISSUED TO OTHERS PRIOR TO THE START OF THE WORK.
- PENETRATIONS IN WALL PARTITIONS OR FLOORS FOR PIPE SLEEVES, FLUES, DUCTWORK AND ELECTRICAL DEVICES, ETC. SHALL BE PACKED AND/OR SEALED WITH FIRESTOPPING INSULATION.
- ALL LICENSED TRADES ARE TO CONDUCT THEIR WORK IN CONFORMANCE WITH GOVERNING BODIES HAVING JURISDICTION OVER THE SITE.
- IF, IN THE INTERPRETATION OF CONTRACT DOCUMENTS, REQUIREMENTS WITHIN THE DRAWINGS AND SPECIFICATIONS CONFLICT, OR IT APPEARS THAT THE DRAWINGS AND SPECIFICATIONS ARE NOT IN AGREEMENT, THE REQUIREMENT TO BE FOLLOWED SHALL BE DECIDED BY THE ARCHITECT. WHERE THERE IS A DISCREPANCY IN THE QUALITY, THE CONTRACTOR SHALL PROVIDE THE SUPERIOR QUALITY.

2020 INTERNATIONAL ENERGY CONSERVATION CODE

ENERGY EFFICIENCY REQUIREMENTS
FROM TABLE N102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT
CLIMATE ZONE: 5A PUTNAM COUNTY

ITEM	RESIDENTIAL REQUIREMENT	PROVIDED
FENESTRATION U-FACTOR	U=0.30	U=PROVIDED BY WINDOW MANUFACTURER
SKYLIGHT	U=0.55	N/APP
GLAZED FENESTRATION SHGC	NR	PROVIDED BY WINDOW MANUFACTURER
CEILING R-VALUE	R-49	R-50+ (SEE BUILDING SECTIONS)
WOOD FRAME WALL R-VALUE	R-20 OR 13+5	R-23+ (SEE BUILDING SECTIONS)
MASS WALL R-VALUE	R-13/17	N/APP
FLOOR R-VALUE	R-30 (FILL FRAMING NOT LESS THAN R-19)	R-30+ (SEE BUILDING SECTIONS)
BASEMENT WALL R-VALUE	R-15/19	N/APP
SLAB R-VALUE AND DEPTH	R-10, 2 FT	N/APP
GRAVEL SPACE WALL R-VALUE	R-15/19	N/APP

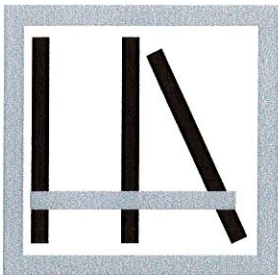
MATERIAL LEGEND

	STONE GRAVEL
	CONCRETE
	CONCRETE BLOCK
	BRICK
	RIGID BOARD INSULATION
	GYPSUM WALLBOARD PARTITION
	WOOD BLOCKING
	CONTINUOUS WOOD FRAMING
	FINISH WOOD
	PLYWOOD
	INSULATION (SEE DETAILS & SPECS)
	STEEL

SYMBOLS

	ELEVATION NUMBER OR LETTER
	SHEET NUMBER
	INTERIOR ELEVATION SYMBOL
	SECTION NUMBER OR LETTER
	SHEET NUMBER
	BUILDING/WALL SECTION MARK
	DETAIL MARK
	ELEVATION/DATUM POINT
	PARTITION TYPE
	ROOM IDENTIFICATION

	DOOR TAG
	WINDOW TAG
	GROUND FLOOR PLAN
	DRAWING TITLE
	COLUMN GRID
	CENTER LINE
	BREAK LINE
	DOTTED LINE (LINE ABOVE OR BELOW PLAN ALSO DEMOLITION)
	DIMENSION LINE



HIGHLANDS
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AND ZONING REFERRAL

TITLE SHEET, GENERAL
NOTES / PROJECT DATA

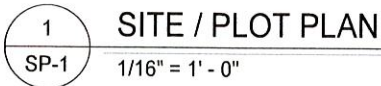
T-1

DATE: 20 JUNE 2023

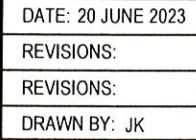
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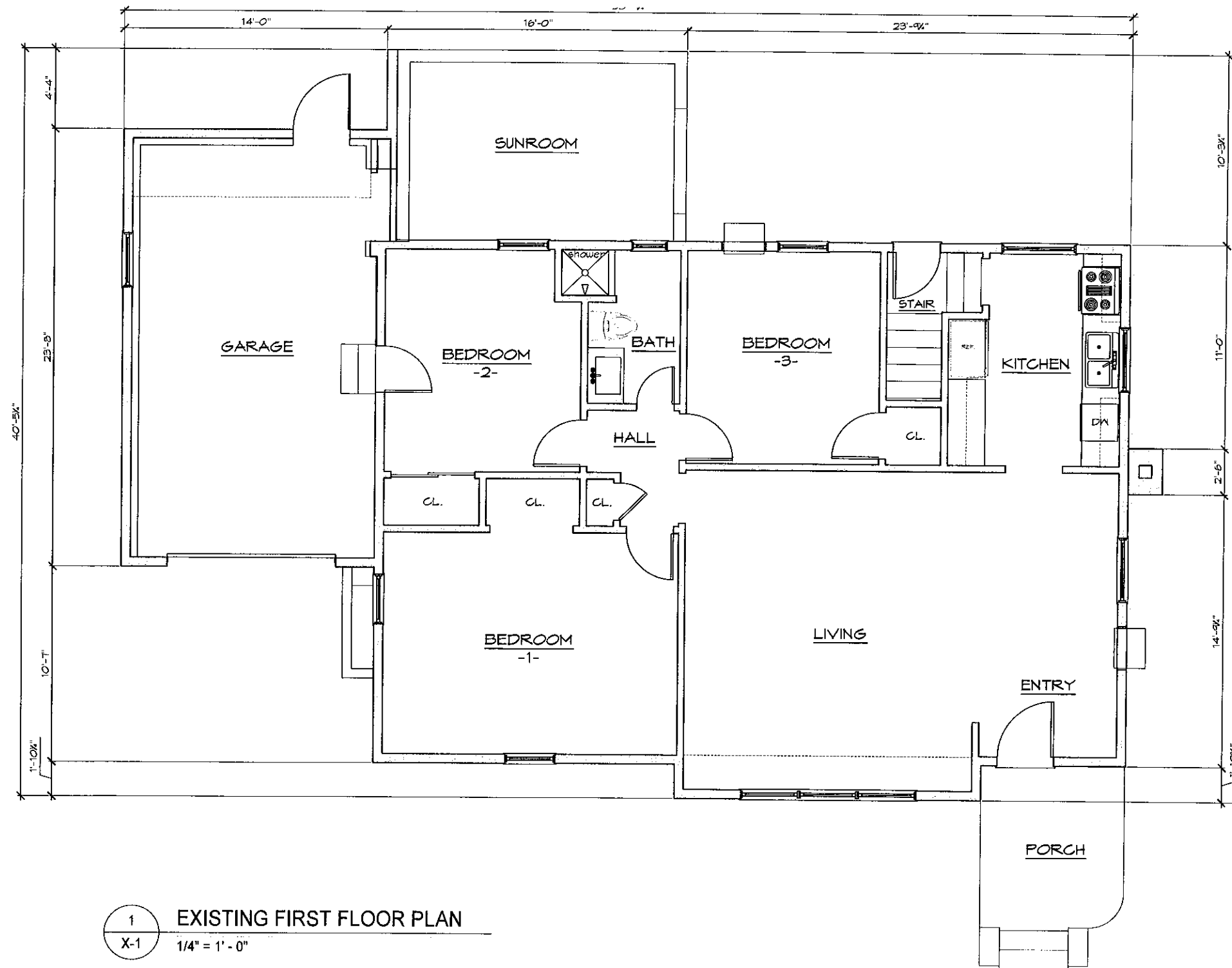
REVISIONS:

DRAWN BY: JK

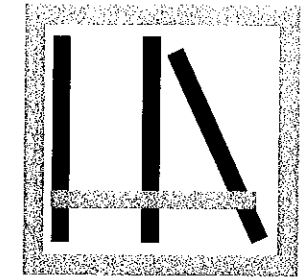


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1
X-1
EXISTING FIRST FLOOR PLAN
1/4" = 1' - 0"



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EXISTING FIRST FLOOR
PLAN & DETAILS

X-1

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REVISIONS:

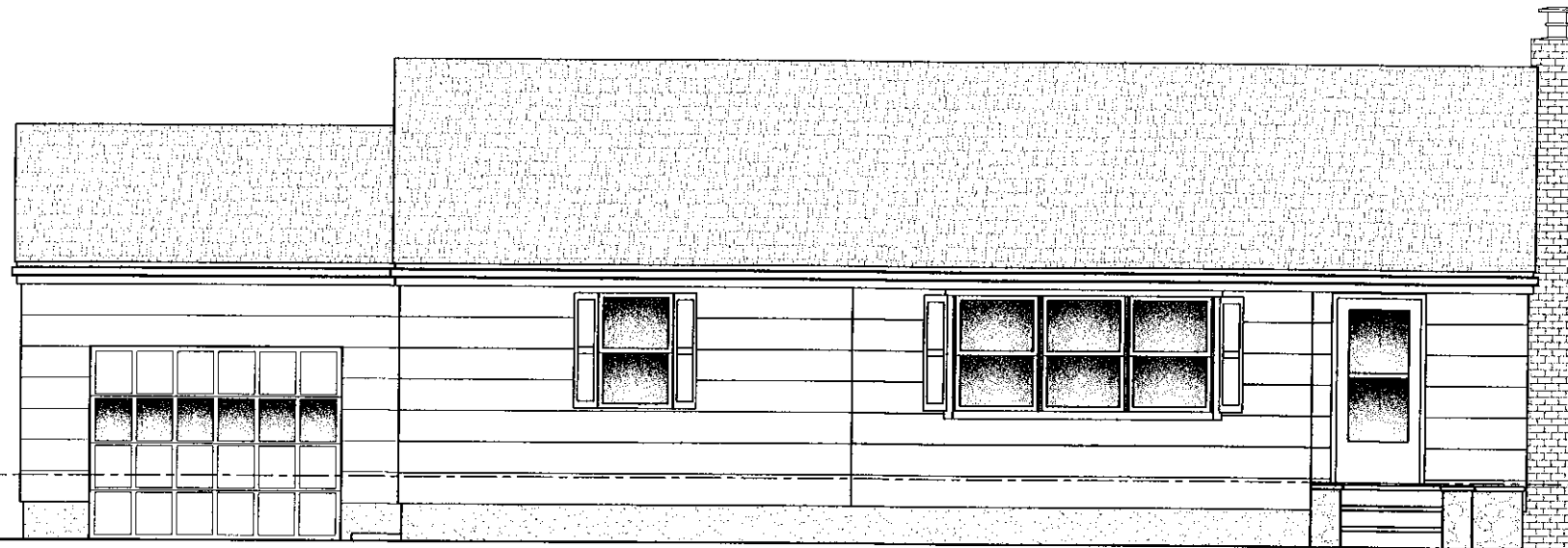
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DRAWN BY: JK

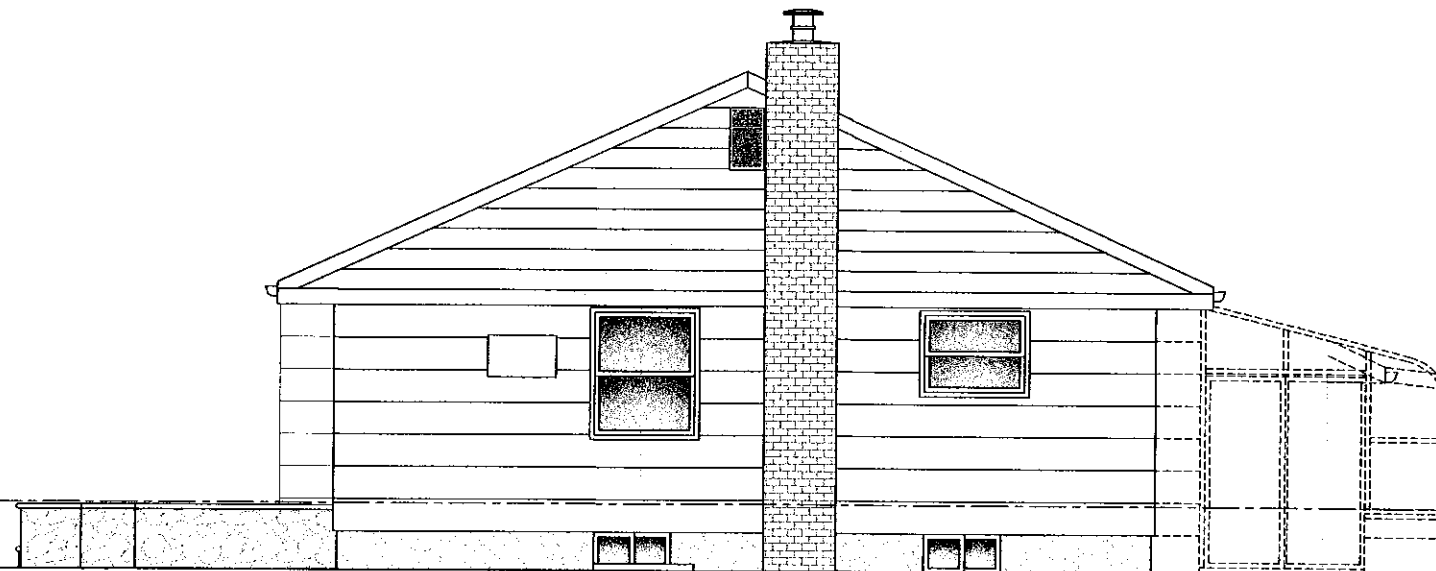
LEGEND

CONTINUOUS LINES DENOTE EXISTING
CONSTRUCTION TO REMAIN

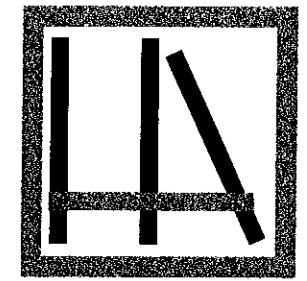
DASHED LINES DENOTE EXISTING
CONSTRUCTION TO BE DEMOLISHED



1
X-2
EXISTING WEST ELEVATION
1/4" = 1' - 0"



2
X-2
EXISTING SOUTH ELEVATION
1/4" = 1' - 0"



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EXISTING ELEVATIONS
WEST & SOUTH

X-2

DATE: 20 JUNE 2023

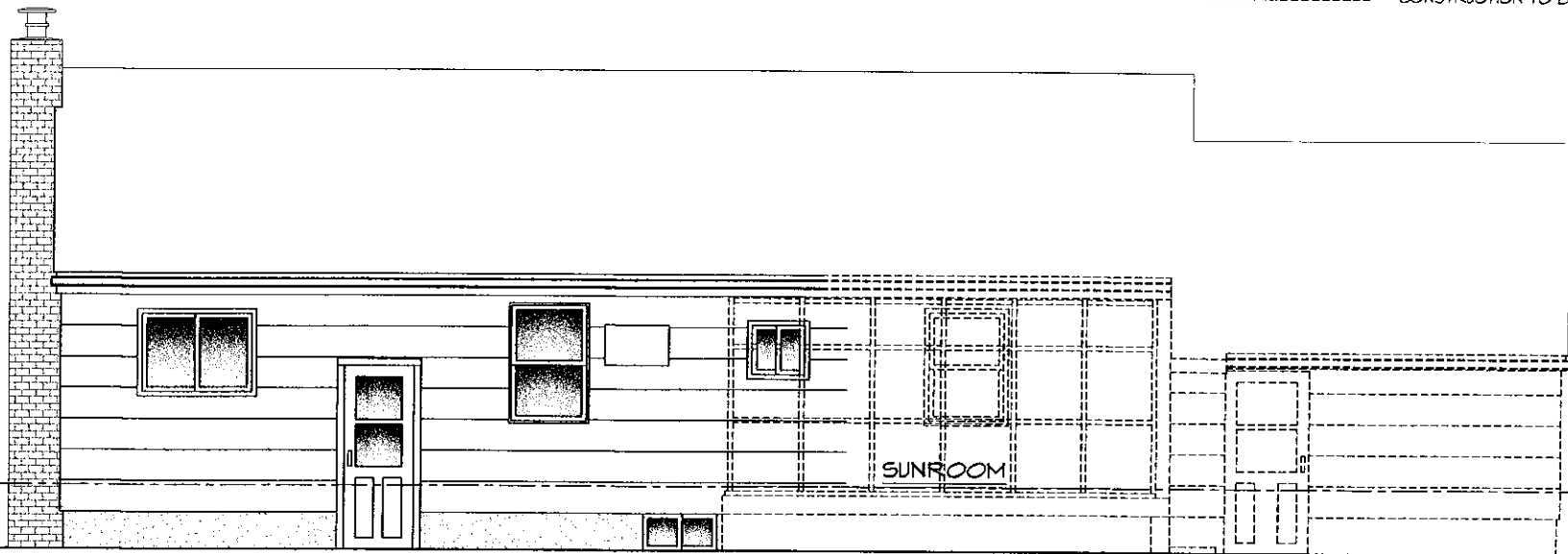
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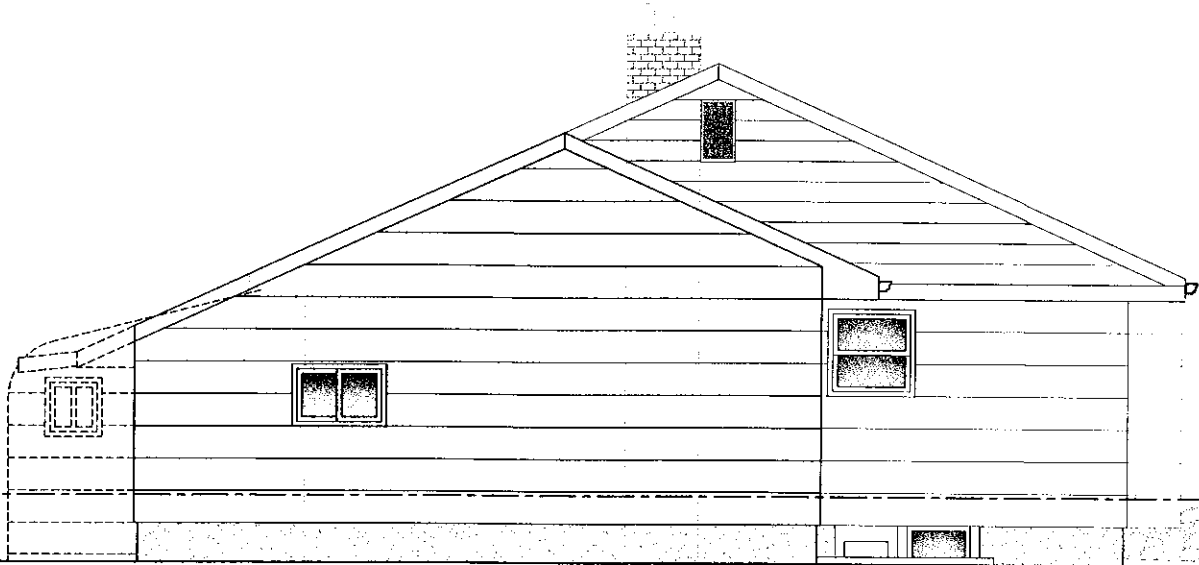
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LEGEND

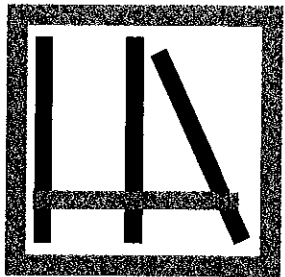
- CONTINUOUS LINES DENOTE EXISTING
CONSTRUCTION TO REMAIN
- DASHED LINES DENOTE EXISTING
CONSTRUCTION TO BE DEMOLISHED



1
X-3
EXISTING EAST ELEVATION
1/4" = 1' - 0"



2
X-3
EXISTING NORTH ELEVATION
1/4" = 1' - 0"



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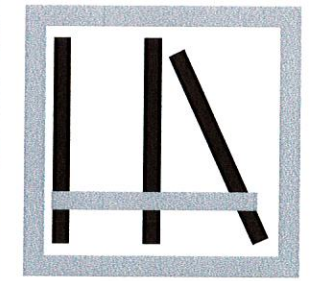
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EXISTING ELEVATIONS
EAST & NORTH

X-3

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**DEMOLITION PLAN
FIRST FLOOR**

D-1

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REVISIONS:

REVISIONS:

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1 DEMOLITION PLAN
D-1 1/4" = 1' - 0"

- REMOVE GUTTER AND LEADER / DOWNSPOUT
- REMOVE SMALL ROOF SECTION AND SOFFIT AT GARAGE
- REMOVE DOORS AND PROVIDE INFILL WALL ASSEMBLY
- REMOVE PLANTINGS, STUMP AND MASONRY SITTING WALL
- REMOVE EXISTING SUNROOM AND AWNING

PRECAST 'BILCO' BULKHEAD STAIR WITH
BILCO "C" MODEL ACCESS DOOR ABOVE

UNDERPINNING OF EXISTING FOUNDATION
REQUIRED IN HATCHED AREA. CONTRACTOR
TO VERIFY DEPTH OF EXISTING FOUNDATION
AND IMMEDIATELY CONVEY FINDINGS TO
ARCHITECT FOR STRUCTURAL SOLUTION.

LINE OF FOUNDATION

LINE OF NEW CONCRETE FOOTING

NEW BASEMENT

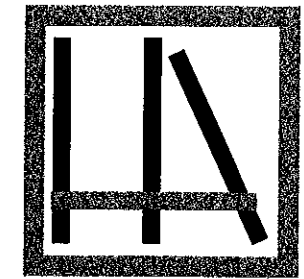
LAUNDRY

CLASSIFICATION:	
OCCUPANCY	• R - RESIDENTIAL ACCESSORY STRUCTURE
CONSTRUCTION	• TYPE 5B - FRAME CONSTRUCTION
DESIGN CRITERIA:	
MIN. UNIFORM DISTRIBUTED LIVE LOADS (LBS./S.F.):	
ATTICS W/O STORAGE	• 10
ATTICS W/ LIMITED STORAGE	• 20
HABITABLE ATTICS W/ FIXED STAIRS	• 30
BALCONIES AND DECKS	• 40
FIRE ESCAPES	• 40
GUARDS AND HANDRAILS	• 200
GUARD IN-FILL COMPONENT	• 50
GARAGES	• 50
ROOMS OTHER THAN SLEEPING ROOMS	• 40
SLEEPING ROOMS	• 30
STAIRS	• 40
WIND SPEED:	
90 M.P.H.	• STANDARD LIGHT-FRAME CONSTRUCTION IN THIS OCCUPANCY IS SUFFICIENT FOR THIS DESIGN CATEGORY
SPECIAL WIND REGION	
SEISMIC DESIGN CATEGORY:	
B	• STANDARD LIGHT-FRAME CONSTRUCTION IN THIS OCCUPANCY IS SUFFICIENT FOR THIS DESIGN CATEGORY
FLOOD HAZARD:	
NEW CONSTRUCTION IS NOT LOCATED IN AREA INDICATED AS 100 YEAR FLOOD PLAN AS PER NATIONAL RESOURCES, PREPARED BY PUTNAM COUNTY DEPT. OF PLANNING AND THE PUTNAM COUNTY ENVIRONMENTAL MANAGEMENT COUNCIL	

1
S-1

NEW FOUNDATION & FIRST FLOOR FRAMING

1/4" = 1' - 0"



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NEW FOUNDATION &
FIRST FLOOR FRAMING

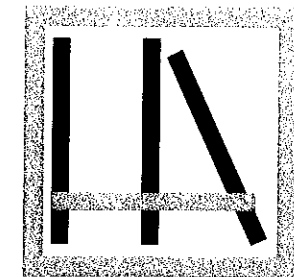
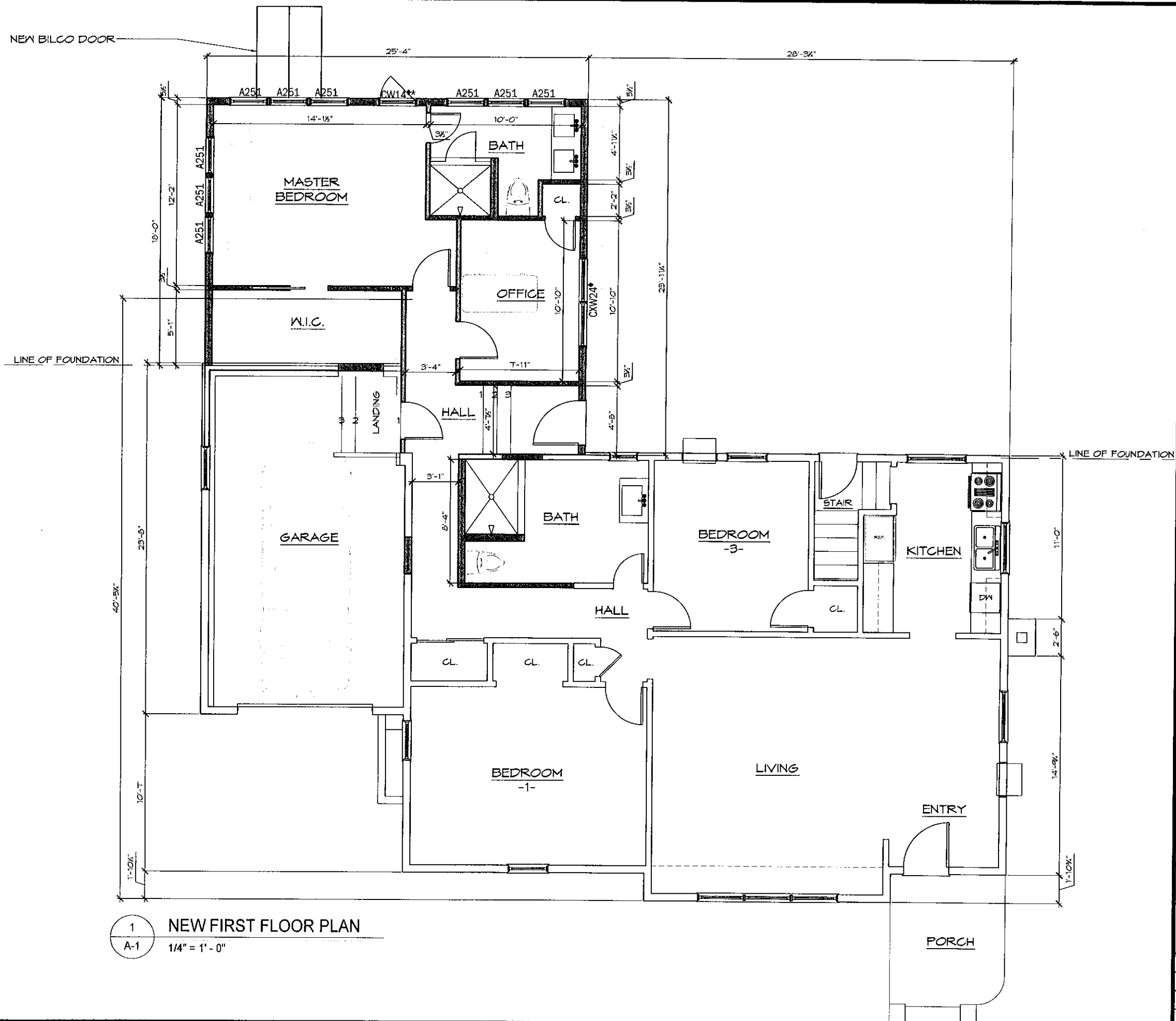
S-1

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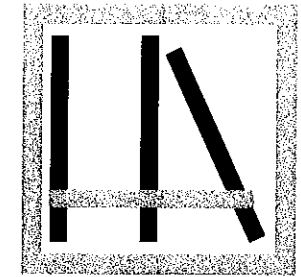
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NEW FIRST FLOOR PLAN

A-1

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PROPOSED NEW
BUILDING ELEVATIONS

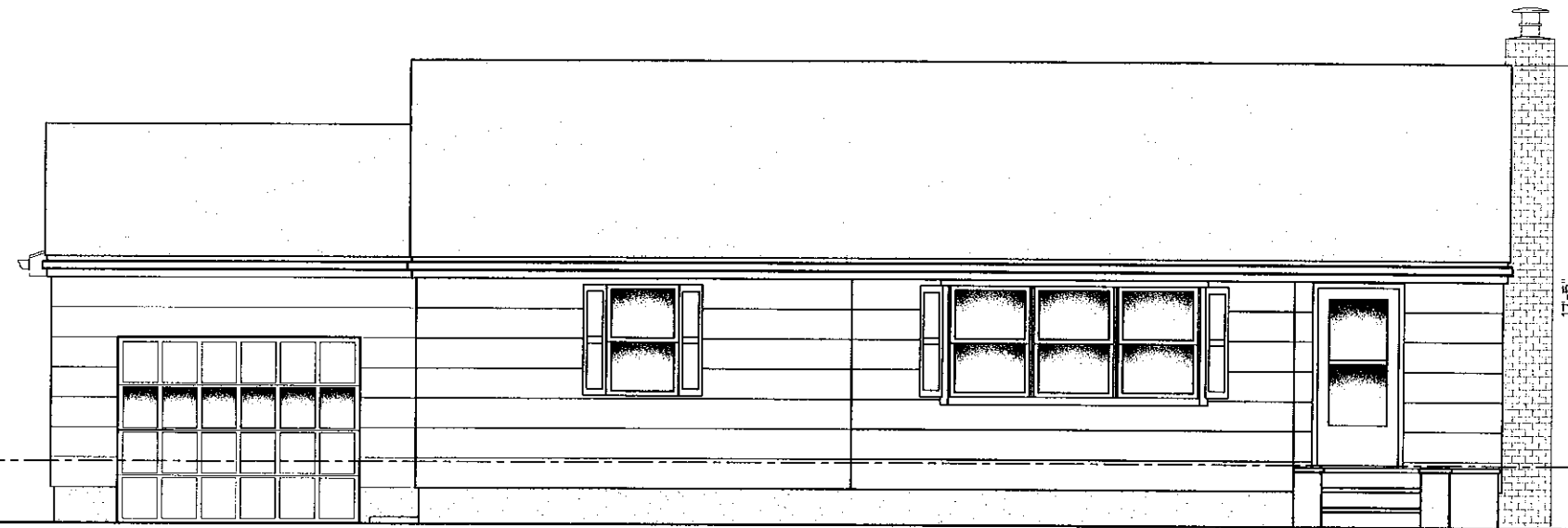
A-3B

DATE: 20 JUNE 2023

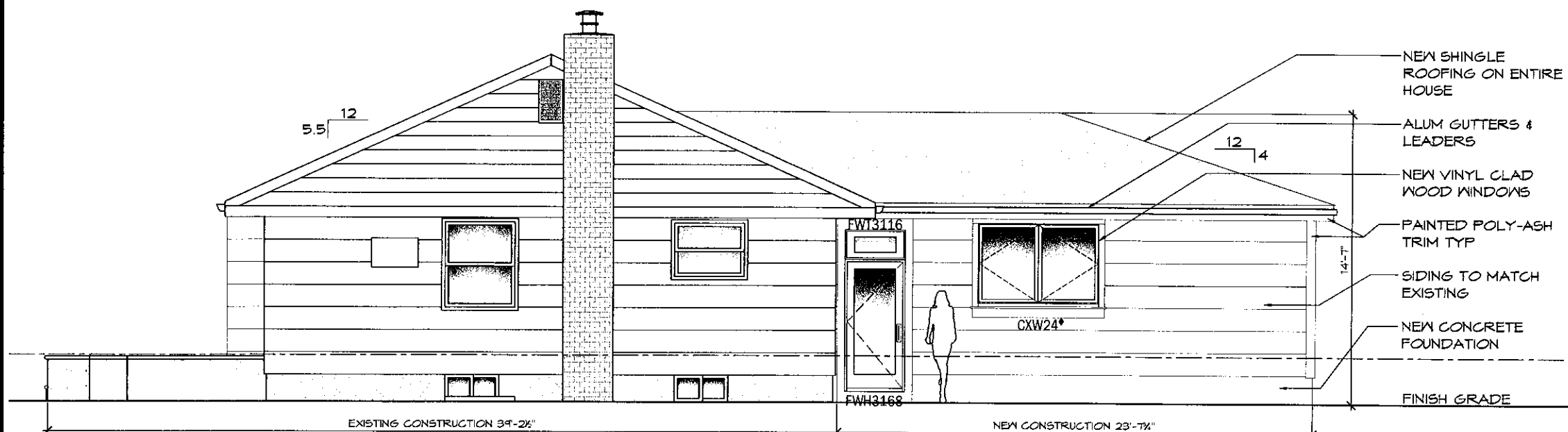
REVISIONS:

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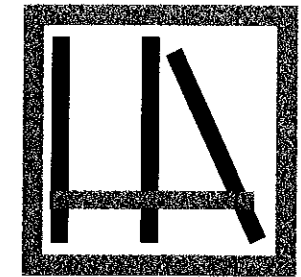
DRAWN BY: JK



1 NEW WEST ELEVATION
A-3B 1/4" = 1' - 0"



2 NEW SOUTH ELEVATION
A-3B 1/4" = 1' - 0"



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BUILDING ELEVATIONS

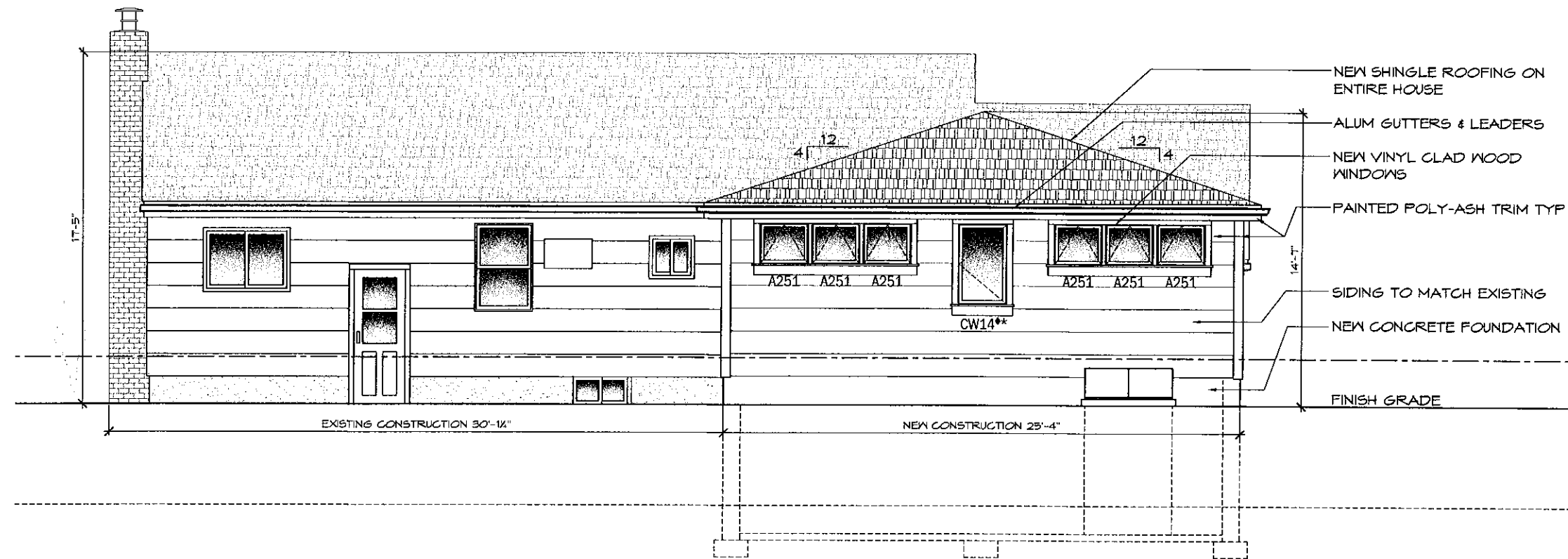
A-4B

DATE: 20 JUNE 2023

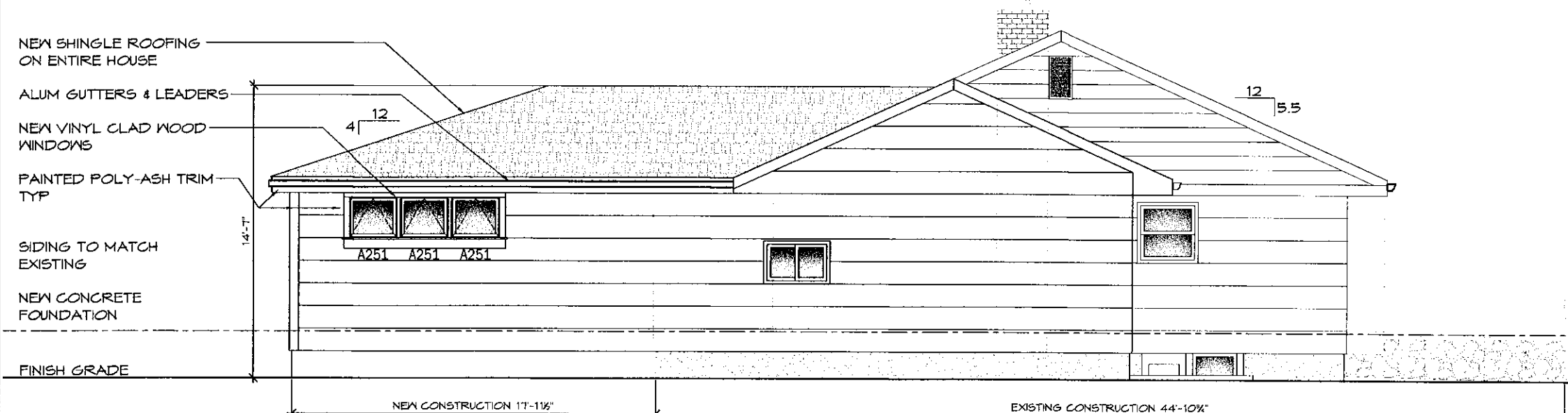
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REVISIONS:

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1
A-4B
NEW EAST ELEVATION
1/4" = 1' - 0"



2
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NEW NORTH ELEVATION
1/4" = 1' - 0"